

Kalamazoo County Consolidated Dispatch Authority



Issued: June 12, 2025

REQUEST FOR PROPOSALS

Professional Architecture and Construction Services

Kalamazoo County Consolidated Dispatch Authority Kalamazoo, Michigan

Kalamazoo County Consolidated Dispatch Authority (KCCDA) invites interested Firms to submit information regarding their experience, qualifications, and fees for Architecture and Construction Services for the purpose of assessing and completing necessary renovations at KCCDA's emergency communications center facility located at 7040 Stadium Drive, Kalamazoo, Michigan.

KCCDA seeks a highly qualified architecture and engineering firm with government sector experience in assessing existing facilities and construction services. Therefore, the decision to select a provider may not rest solely on the lowest overall cost.

The KCCDA reserves the right to reject any proposals or parts of proposals. KCCDA also reserves the right to waive any irregularities, inconsistencies, negotiate or take additional appropriate action as determined by KCCDA to be in the best interest of KCCDA.

Questions regarding the scope of this request, the selection process, insurance requirements, or other procedural requirements should be directed to Jeff Troyer, Executive Director, KCCDA, at (269) 488-6616 or via email at itroyer@kccda911.org.

Proposals shall be plainly marked "RFP: Architecture and Construction Services" and be emailed to aphr@kccda911.org or delivered to the following address:

KCCDA 7040 Stadium Drive Kalamazoo, Michigan 49009

Proposals are due by 3:00 p.m. on Tuesday, July 15, 2025

TABLE OF CONTENTS

SECTION 1 – Instructions for Proposal Submission	1
SECTION 2 – Professional Service Specifications	2
SECTION 3 – Provider Response and Cost Information	4
SECTION 4 – Terms and Conditions	6
SECTION 5 – General Information for Contractors	9
APPENDIX A – Certifications and Assurances Form	15
APPENDIX B – Certificate of Compliance with Public Act 517 of 2012	17
APPENDIX C – Customer Reference Form	18
APPENDIX D – Proposal Cost Worksheet	19
APPENDIX E – 2018 Renovation As-Built Drawings (Only for Reference)	21

1. INSTRUCTIONS FOR PROPOSAL SUBMISSION

1.1 <u>Examination of Request for Proposal Documents</u>

All providers must analyze this Request for Proposal (RFP) in its entirety and provide enough information in their submission to allow KCCDA to evaluate the proposals. Provider must furnish all information as requested and complete all forms according to the section instructions contained herein. Section 3.4 provides specific information regarding submission/proposal format.

1.2 <u>Proposal Submission</u>

All proposals shall be plainly marked "RFP: Architecture and Construction Services" in the subject line of the email or in a sealed envelope/package. Proposals are due by **3:00 p.m. on Tuesday, July 15, 2025.**

Interested Providers can submit a proposal via email to aphr@kccda911.org, or deliver/send to the following address:

KCCDA 7040 Stadium Drive Kalamazoo, Michigan 49009

It is the sole responsibility of the Provider to ensure its proposal is received in the proper timeline. Any proposals received after the closing date and time will not be accepted.

1.3 Opening Proposals

There will not be a public opening for this RFP. A bid worksheet will be distributed electronically to all Providers submitting a proposal within two (2) business days after the proposal deadline.

1.4 Proposal Forms

Whenever forms are provided, each proposal shall be made on the form provided and shall be submitted with all requested information, including signatures by an individual authorized to execute the proposal on behalf of the Provider.

1.4.1 Modifications

Alternate written proposals submitted may be considered; however, final determination as to suitability and compliance with specifications will solely be determined by KCCDA. It is recommended that if an alternate proposal is to be suggested that the Provider provides a proposal that meets all specifications and any alternate proposals. If the Provider complies with these recommendations, it can have its alternate considered. If the alternate is not acceptable, the KCCDA reserves the right to reject the proposal.

1.5 Proposal Timeline

Below are tentative dates of actions related to this RFP. The final recommendation and award date may be modified in the sole discretion of the KCCDA.

DATE and TIME	<u>EVENT</u>
June 12, 2025 at 2:00 p.m.	Release of Request for Proposal
July 15, 2025 at 3:00 p.m.	Proposal Deadline
September 11, 2025 at 3:30 p.m.	Selection of Provider

1.6 Revisions to the RFP

In the event it becomes necessary to revise in whole or any part of this RFP, an addendum will be reduced to writing and submitted to all prospective proposers and Respondents known to KCCDA. For this purpose, any published questions and answers and any other pertinent information will be considered an addendum to the RFP and will be provided to prospective proposers. All such changes or addenda shall become part of the contract and all prospective proposers and Respondents shall be bound by such changes and addenda. KCCDA reserves the right to cancel or to reissue the RFP in whole or in part, prior to execution of a contract.

2 PROFESSIONAL SERVICE SPECIFICATIONS

2.1 Agency Purpose and Background

The Kalamazoo County Consolidated Dispatch Authority (KCCDA) is an Emergency Communications Center (ECC) that provides Public Safety Answering Point (PSAP) and emergency dispatch services for all public safety agencies and residents in the County of Kalamazoo. Operational responsibilities include but are not limited to answering 9-1-1 emergency calls and text sessions, prioritization and dispatching public safety resources to calls/requests for service, maintenance of all public safety radio communications infrastructure, adoption of streamlined standard operating procedures for call handling and dispatch processes, etc.

KCCDA was created in 2014 under the Michigan Urban Cooperation Act and Intergovernmental Transfer of Functions and Responsibilities Act, by the Cities of Kalamazoo and Portage, the County of Kalamazoo, the Charter Township of Kalamazoo, and Western Michigan University. KCCDA is a Michigan Public Body Corporate, or local unit of government, that is governed by a thirteen (13) member Board of Directors consisting of the following:

- 2 Members City of Kalamazoo
- 2 Members City of Portage
- 2 Members Charter Township of Kalamazoo

- 2 Members Western Michigan University
- 1 Member Kalamazoo County Board of Commissioners
- 1 Member Kalamazoo County Sheriff or his/her designee
- 1 Member Michigan State Police
- 1 Member Kalamazoo County Medical Control Authority
- 1 Member A firefighter from an entity not already represented by the Parties that is recommended by the Kalamazoo Fire Chiefs Association and selected by the Kalamazoo County Board of Commissioners

KCCDA's organization consists of 68 staff/employee positions:

- Executive Director (Chief Administrative Officer)
- Deputy Director
- Executive Administrative Assistant
- Administrative Assistant
- Network and Systems Administrator
- 2 Systems Support Specialist
- 6 Dispatch Supervisors
- 16 Emergency Communications Officer I's
- 32 Emergency Communications Officer II's
- 7 Part-Time Emergency Communications Officers

2.2 Scope of Work

KCCDA seeks to contract with a firm to provide architecture and construction services for the purpose of assessing and completing renovations at KCCDA's emergency communications center facility located at 7040 Stadium Drive, Kalamazoo, Michigan.

This project will consist of two (2) separate phases:

2.2.1 PHASE I – Needs Assessment, Cost Analysis, and Conceptual Schematics

The selected firm shall be retained to assist KCCDA Administration to complete a renovation needs assessment to develop cost analysis and conceptual schematics. This shall include but may not be limited to the following items:

- A. The firm shall collect information from administration related to the desired facility attributes and complete a facility needs assessment to include structural integrity and mechanical components.
- B. The firm shall provide a detailed cost analysis including estimated construction costs of the recommended and desirable renovations.
- C. The firm shall complete conceptual schematic drawings of the renovations being considered.

D. At the request of KCCDA, the firm shall attend various Committee and Board of Directors meetings to discuss the assessment and recommendations.

2.2.1 PHASE II – Final Design, Detailed Drawings and Construction Services

This phase of the project is optional and at the sole discretion of KCCDA. If KCCDA chooses to pursue PHASE II, KCCDA and the firm shall negotiate a separate contractual agreement for these services. Services to be provided will consist of:

- A. Further analysis of the facility based on the renovation projects approved by KCCDA with the goal of achieving consensus on a final design.
- B. The firm shall provide all detailed drawings and specifications for bidding the renovation project to be approved by administration.
- C. The firm shall assist administration in the bidding process including analyzing submissions and making a recommendation to administration and the Board on a contractor.
- D. The firm shall provide construction oversight services including but not limited to approval of contractor's work based on specifications, change order processes, recommendations to administration on payment for completed work, and project close out.
- E. At the request of KCCDA, the firm shall attend various Committee and Board of Directors meetings to discuss the assessment and recommendations.

NOTE: Appendix E are the as-built drawings from a renovation that was completed at the facility in 2018. The drawings are for reference only and provide general layout and size of the emergency communications facility.

3 PROVIDER RESPONSE AND COST INFORMATION

3.1 Completeness of Proposal

Each proposal shall provide a clear, concise delineation of Provider's capabilities to satisfy the requirements in this RFP; including the terms and conditions contained herein and the scope of work, and all required forms.

3.2 Proposal Expiration

Provider may indicate an expiration date for pricing in any proposal submitted but the expiration date shall not be less than 180 days after the proposal due date.

3.3 Period of Performance

The period of performance shall begin within 14 calendar days after selection of a firm and Phase I shall be completed within 160 days thereafter.

3.4 Provider Response

A Provider's response and the terms indicated in this RFP shall serve as the contracting document if the Provider is selected for Phase I. Each proposal must at a minimum include a Cover Letter, Table of Contents, and the following items in the order listed below:

- Executive Summary
- Vendor Qualifications and Project Team
- Certifications and Assurances Form
- Certificate of Compliance with Public Act 517 of 2012
- Customer Reference Forms
- Proposal Cost Worksheet

3.4.1 Executive Summary

This section should be limited to a brief narrative highlighting the vendor's proposal including a concise overview of the firm's experience. The summary should be free of technical language and should illustrate the benefits and possibilities offered by the vendor.

3.4.2 Vendor Qualifications and Project Team

This should include a complete description of the firm including location(s) of offices, general history of the firm, and an organizational chart showing the working relationship of the management structure. This section shall also identify the project team members, including the lead architect for this project and any key staff members assisting the lead architect. A short biography, including each person's relative experience, shall be included for each person on the project team.

3.4.3 Certificates and Assurances Form

The Certifications and Assurances form (Appendix A) must be signed and dated by a person authorized to legally bind the Respondent to a contractual relationship, e.g., the President or Executive Director of a corporation, the managing partner of a partnership, or the proprietor of a sole proprietorship.

3.4.4 Certificate of Compliance with Public Act 517 of 2012

The Certificate of Compliance with Public Act 517 of 2012 form (Appendix B) must be signed and dated by a person authorized to legally bind the

Respondent to a contractual relationship, e.g., the President or Executive Director of a corporation, the managing partner of a partnership, or the proprietor of a sole proprietorship.

3.4.5 Customer References

Provider shall provide at least three (3) municipal or governmental unit references where projects with similar services were completed. Each reference shall be documented on the Customer Reference Form provided (Appendix C) and contain the name of the agency, agency contact person, the contact person's telephone number and email address, and a summary of the services completed including the years in which the project was finalized.

3.4.6 Proposal Cost Worksheet

Provider must complete the Proposal Cost Worksheet included as Appendix D. The proposal should be inclusive of all costs to complete Phase I of the Scope of Work and should not include taxes. The proposal should include an estimate explaining the general cost structure/concept for services included in Phase II (optional) of the Scope of Work. Each Provider must ensure completion of the payment policy section of the form and include any applicable discounts for early payment and penalties for late payment.

This form must be signed and dated by a person authorized to legally bind the Respondent to a contractual relationship, e.g., the President or Executive Director of a corporation, the managing partner of a partnership, or the proprietor of a sole proprietorship.

3.5 Withdrawal

Proposals may only be withdrawn by the Respondent submitting written notice prior to the date and time set for the proposal deadline. No proposal may be withdrawn after the deadline for submission.

4 TERMS AND CONDITIONS

4.1 Non-Discrimination

The Respondent who is selected as the Contractor, as required by law, shall not discriminate against an employee or applicant for employment with respect to hire, tenure, terms, conditions or privilege of employment, or a matter directly or indirectly related to employment because of race, color, religion, sex, national origin, disability that is unrelated to the individual's ability to perform the duties of a particular job or position, height, weight, marital status, age or political affiliation.

The Contractor shall adhere to all applicable Federal, State and local laws, ordinances, rules and regulations prohibiting discrimination, including, but not limited to, the following:

- A. The Elliott-Larsen Civil Rights Act, 1976 PA 453, as amended.
- B. The Persons with Disabilities Civil Rights Act, 1976 PA 220, as amended.
- C. Section 504 of the Federal Rehabilitation Act of 1973, P.L. 93-112, 87 Stat. 355, as amended, and regulations promulgated there under.
- D. The Americans with Disabilities Act of 1990, P.L. 101-336, 104 Stat 327 (42 USC §12101 et seq), as amended, and regulations promulgated there under.

Breach of this section shall be regarded as a material breach of the agreement.

4.2 Provider's Insurance

The successful Provider will be required to furnish to the KCCDA a Certificate or Proof of Insurance as well as any required endorsements. In lieu of required endorsements a copy of the policy sections where coverage is provided for additional insured and cancellation notice would be acceptable. Copies or certified copies of all policies mentioned below shall be furnished, if requested.

If any of the coverages listed below expire during the term of this contract, the Provider shall deliver renewal certificates and endorsements to the KCCDA at least ten (10) days prior to the expiration date.

All insurers shall be either licensed or authorized to do business in the State of Michigan and carry the following minimum coverages:

4.2.1 Workers Comp

Workers compensation insurance, including employer's liability, under the workers compensation statutes of the State of Michigan.

4.2.2 General Liability

Comprehensive general liability policy of at least \$1,000,000/occurrence for personal injury and property damage.

4.2.3 Automobile Liability

Comprehensive automobile liability policy of at least \$1,000,000 for bodily injury and property damage on any automobile.

4.2.4 Professional Liability

Professional liability coverage (errors and omissions) covering an actual or alleged error, statement, act, omission, neglect or breach of official duty, including misfeasance, malfeasance, and non-feasance; at least \$1,000,000/occurrence.

If an "occurrence" policy is unavailable for the professional liability coverage, please include a statement from your insurance agent or broker indicating non-availability of the occurrence form. Under these circumstances, a "claims made" form will be considered if written in the requested amount.

4.2.5 Additional Insured

All the above coverages shall protect the Kalamazoo County Consolidated Dispatch Authority. The Provider's insurance policy shall be primary for the additional insured, and not excess over any policy held by the additional insured. The certificate of insurance must contain the following statement:

THE KALAMAZOO COUNTY CONSOLIDATED DISPATCH AUTHORITY, ALL ELECTED AND APPOINTED OFFICIALS, ALL EMPLOYEES AND VOLUNTEERS, ALL BOARDS, COMMISSION, AND/OR AUTHORITIES AND BOARD MEMBERS, INCLUDING EMPLOYEES AND VOLUNTEERS THEREOF (except for Workers Compensation).

4.2.6 Subcontractor Insurance

It shall be the Provider's responsibility to provide similar insurance for each subcontractor, or to provide evidence that each subcontractor carries his own insurance in like amounts, prior to the time such subcontractor proceeds to perform under the contract.

4.2.7 Cancellation Notice

All policies, as described above, shall include an endorsement stating it is understood and agreed that thirty (30) days Advanced Written Notice of Cancellation, Non-Renewal, Reduction, and/or Material Change of the policy, and Ten (10) days written notice for non-payment of premium, shall be sent to the KCCDA Executive Director, 7040 Stadium Drive, Kalamazoo, MI 49009.

4.3 Indemnification and Hold Harmless

To the fullest extent permitted by Laws and Regulations, the Provider, at its sole cost and expense, shall indemnify and hold harmless the KCCDA and its officers, directors, employees, agents and consultants (hereinafter referred to as "Indemnified Parties") from and against all claims, costs, losses and damages (including, but not limited to all fees and charges of professionals and all court or arbitration or other dispute resolution costs) caused by, arising out of or resulting from the performance of the Services or from the failure to comply with any

covenant or term of the contract, provided that any such claim, cost, loss or damage: (i) is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property (other than the work itself), including the loss of use resulting therefrom or (ii) is caused in whole or in part by any act or omission of the Provider, its agents, officers, contractors, subcontractors, employees, invitees, suppliers or any other person or entity, directly or indirectly employed by any of them to perform or furnish any of the Services or anyone for whose acts any of them may be liable. Provided, however, that the Provider shall not be required to indemnify the Indemnified Party for injury, death, loss or damage caused by the sole negligence of any Indemnified Party. If such injury or damage is caused in whole or in part by the acts or omissions of the Indemnified Parties, then the indemnification obligation shall be reduced in proportion to the Indemnified Party's percentage of responsibility for such injury or damage.

In any and all claims against the KCCDA or any consultants, agents, officers, directors or employees of the KCCDA by any employee (or the survivor or personal representative of such employee) of the Provider, any Subcontractor, any Supplier, any person or organization directly or indirectly employed by any of them to perform or furnish any of the Services, or anyone for whose acts any of them may be liable, the indemnification obligation above shall not be limited in any way by any limitation on the amount or type of damages, compensation or benefits payable by or for the Provider or any such Subcontractor, Supplier or other person or organization under workers' compensation Acts, disability benefit Acts or other employee benefit Acts.

Insurance coverage required by the contractor constitutes the minimum requirements and those requirements shall in no way lessen or limit the liability of the Provider under the terms of the contract.

4.4 Representations

To ensure consistent and correct information, prospective Providers shall submit all questions and requests for clarification in writing to KCCDA's Executive Director Jeff Troyer, via email at itroyer@kccda911.org. The KCCDA reserves the right to modify, alter or change the scope, size or other aspects of this project at any time.

5 GENERAL INFORMATION FOR CONTRACTORS

5.1 Status of Provider

The Provider and its employees, at all times, shall be considered as independent contractors and not as KCCDA employees. In delivering services, the Provider shall exercise all supervisory control and general control over all day-to-day operations, including control over all workers' duties, payment of all wages to its employees,

and the right to hire, fire, and discipline all employees. As an independent contractor, payment to the Provider under this contract shall not be subject to any withholding for tax, social security, or other purposes, nor shall the Provider or employees of the Provider be entitled to any KCCDA fringe benefit programs.

5.2 **Employees of the Provider**

The Provider shall always be responsible for the conduct and discipline of its employees and/or any subcontractor or persons employed by the Provider. All workers must have sufficient knowledge, skill, and experience to properly perform the work assigned to them. Any worker employed by the Provider, who in the opinion of KCCDA's Executive Director, does not perform work in a skilled manner, or acts in a disorderly or intemperate manner, or engages in sexual harassment or other forms of inappropriate behavior as defined by the KCCDA's Executive Director, shall, at the written request of KCCDA's Executive Director, be removed immediately from the project and shall not be utilized again in any portion of the work without approval of KCCDA's Executive Director.

5.3 Laws and Municipal Ordinances

The Provider shall keep fully informed of all laws and regulations in any manner affecting those engaged or employed in the work, or the equipment and materials used in the work, and all orders and decrees of bodies or tribunals having any jurisdiction or authority over the same. The Provider shall always observe and comply with all such existing laws, codes, ordinances, regulations, orders, and decrees. All work shall be in compliance with the Laws of the State of Michigan, County Ordinances, as well as all other bodies having jurisdictional authority.

5.4 Supervision by Provider

The Provider will supervise and direct the work of its employees. The Provider will be solely responsible for the means, methods, techniques, sequences, and procedures of the professional services performed. The Provider will appoint a Project Lead who shall have been designated in writing by the Provider at the time the Request for Proposal is submitted. The Project Lead shall have full authority to act on behalf of the Provider and all communications given to the Project Lead shall be as binding as if given to the Provider. The Project Lead shall be present to the extent necessary so as to perform adequate supervision and coordination of the work.

5.5 **Assignability**

The Provider agrees that the work proposed shall be accomplished by the Provider. The Provider agrees that any work under the contract to be assigned to another

Provider, and/or subcontractor, shall be done only with the prior approval of the KCCDA Project Manager

5.6 Termination for Convenience

This contract may be terminated by the KCCDA upon not less than 15 days written notice to the Provider. In the event of termination not the fault of the Provider, the Provider shall be compensated for services performed to date, in accordance with the terms of this contract. Termination not the fault of the Provider shall not give rise to any claim against the KCCDA for damages or for compensation in addition to that provided under this contract. Such pay so made to the Provider shall be in full settlement for services rendered pursuant to this contract.

5.7 Termination for Default

The KCCDA may, by written notice to the Provider, terminate the right to proceed as to the whole or any part of the contract; (1) if the Provider fails to perform the services within the time specified or any extension thereof, (2) so fails to make progress as to endanger performance of the contract in accordance with its terms, or (3) the Provider fails to adequately perform any other provisions of the contract. The Provider shall not be subject to this provision if failure to perform the contract arises out of any cause beyond its control and without any fault or negligence by the Provider or subcontractors.

5.8 <u>Limitations</u>

This RFP does not commit KCCDA to a contract or to pay any costs incurred in the preparation for a response to this RFP. There is no obligation on the part of the KCCDA to select and award any submitted response or to any Provider or individual submitting a response. No work is guaranteed under this RFP.

5.9 Public Record

Providers are advised that all responses are deemed a public record and open to public scrutiny after the evaluation and selection (or no selection) of a Provider by the KCCDA.

5.10 Conflict of Interest

All Providers must disclose any potential conflict of interest with KCCDA employees or any of its Board of Directors.

5.11 Ownership of Bids

All materials submitted in response to this RFP shall become the property of the KCCDA and for the selected Provider, will become part of the business agreement. Award or rejection does not affect this right.

5.12 Release of Claims

Under no circumstances shall the KCCDA be responsible for any bid preparation expenses, submission costs or any other expenses, costs or damages of whatever nature incurred as the result of a respondent's participation in this RFP process. The respondent understands and agrees that it submits its bid at its own risk and expense and releases the KCCDA from any claims or damages or other liability arising out of the RFP and award process.

5.13 Proprietary Information and Public Disclosure

Materials submitted in response to this RFP shall become the property of the KCCDA. All proposals received shall remain confidential until the deadline for submission of proposals has expired, as defined by MCL 15.243(i), the Freedom of Information Act.

5.14 Acceptance Period

KCCDA reserves the right to postpone the proposal review and/or contingent award deadlines for its convenience and in its individual discretion. Respondents must provide 180 calendar days for acceptance from the due date for receipt of proposals.

5.15 Responsiveness

All proposals will be reviewed by KCCDA to determine compliance with administrative requirements and instructions specified in this RFP. Failure to comply with any part of the RFP base terms and conditions may result in rejection in whole or in pertinent part of the proposal as non-responsive. KCCDA also reserves the right, at its sole discretion, to waive irregularities.

5.15 Most Favorable Terms

As applicable, KCCDA reserves the individual or collective right to make an award without further discussion of the applicable proposal submitted. Therefore, the proposal should be submitted initially on the most favorable terms which the Respondent can propose. As applicable, KCCDA also reserves the individual or collective right to contact a Respondent for clarification of its proposal. The Respondent should be prepared to accept all terms and conditions of this RFP as as the base contract resulting from this RFP. Contract negotiations shall incorporate

some or the Respondent's entire proposal. It is understood that the proposal will become a part of the official procurement file on this matter.

5.16 Costs of Proposal

KCCDA will not be liable for any costs incurred by a Respondent in preparation of a proposal submitted in response to this RFP, in conduct of a presentation, or any other activities related to responding to this RFP.

5.17 No Obligation Contract

This RFP does not individually or collectively obligate the KCCDA Board of Directors to award a contract for services specified herein.

5.18 Reservation of Right to Negotiate

KCCDA also reserves the right to waive any informalities or irregularities in proposals, and/or negotiate the terms and conditions of all or any part of the proposals deemed to be in KCCDA's best interests even though not the lowest cost.

5.19 Failure to Comply

The Respondent is specifically notified that failure to comply with any part of the RFP may result in rejection of the proposal as non-responsive.

5.20 Commitment of Funds

The KCCDA Board of Directors, acting as a body, or its delegate(s) are the only individuals who may legally commit KCCDA to the expenditure of funds for a contract resulting from this RFP. No cost chargeable to the proposed contract may be incurred before receipt of a fully executed contract.

5.21 Signatures

The Certifications and Assurances form, Certificate of Compliance with Public Act 517 of 2012, and the Proposal Cost Worksheet must be signed and dated by a person authorized to legally bind the Respondent to a contractual relationship; e.g., the President or Executive Director of a corporation, the managing partner of a partnership, or the proprietor of a sole proprietorship.

5.22 Rejection and/or Re-solicitation

KCCDA reserves the right to reject any and all proposals without penalty and resolicit, in whole or in part, for new proposals, and temporarily or permanently abandon, in whole or in pertinent part, the appliable project. KCCDA makes no representations, written or oral, that it will enter into any form of agreement with any Respondent to this RFP for any project and no such representation is intended or should be construed by the issuance of this RFP. KCCDA reserves the right to waive any informalities or irregularities in proposals, and/or negotiate the terms

and conditions of all or any part of the proposals as deemed to be in the KCCDA's best interests at its sole discretion even though not the lowest cost.

5.23 Failure to Perform

For failure to deliver or perform in accord with the accepted bid, KCCDA may consider the Respondent in default and take steps to protect the Authority's interest.

5.24 Non-Collusion Clause

By signing and submitting a proposal(s), the Respondent states that Respondent's proposal is genuine and not collusive or sham; such Respondent has not colluded, conspired, connived, or agreed, directly or indirectly, with any other Respondent or person, to put in a sham bid, or that such other person will refrain from proposing and has not in any manner, directly or indirectly, colluded, conspired, connived, or agreed, with any person, to fix the price of affiant or any other proposer, or to fix any overhead, profit or cost element of said bid price.

5.25 Contract

The contents and terms of this Request for Proposal and the Providers response to the same shall serve as the contractual agreement between KCCDA and the Provider for Phase I of the project.

APPENDIX A

Certifications and Assurances Form

THIS FORM MUST BE COMPLETED AND RETURNED WITH YOUR PROPOSAL. FAILURE TO SUBMIT THIS COMPLETED FORM MAY RESULT IN DISQUALIFICATION.

Company/Firm Name:	

I/we make the following statement of assurances as a required element of the proposal to which it is attached, understanding that the truthfulness of the facts affirmed here and the continuing compliance with these requirements are conditions precedent to the award or continuation of the related contract(s):

- 1. The prices and/or data have been determined independently, without consultation, communication, or agreement with other proposers for the purpose of restricting competition. However, I/we may freely join with other persons or organizations for the purpose of presenting a single proposal.
- 2. The attached proposal is a firm offer and valid for a period of not less than of 180 calendar days after the proposal due date (contained herein), and it may be accepted by the KCCDA without further negotiation (except where obviously required by lack of certainty in key terms) at any time within this 180 calendar days period.
- 3. In preparing this proposal, I/we have not been assisted by any current or former employee of the KCCDA whose duties relate (or did relate) to this proposal or prospective contract, and who was assisting in other than his or her official public capacity. Neither does such a person nor any member of his or her immediate family have any financial interest in the outcome of proposal. (Any exceptions to these assurances are described in full detail on a separate page and attached to this document.)
- 4. I/we understand that the KCCDA will not reimburse me/us for any costs incurred in the preparation of this proposal. All proposals become the property of KCCDA, and I/we claim no proprietary right to the ideas, writings, items, or samples, unless so stated in this proposal.
- 5. Unless otherwise required by law, the prices and/or cost data which have been submitted have not been knowingly disclosed by the proposer and will not knowingly be disclosed by him/her prior to opening, in the case of a proposal directly or indirectly to any other proposer or to any competitor.

- 6. No attempt has been made or will be made by the proposer to induce any other person or firm to submit or not to submit a proposal for the purpose of restricting competition, nor have I/we made any agreement with, nor offered or accepted anything of value from, an official or employee of KCCDA that would tend to destroy or hinder free competition.
- 7. I/we agree that submission of the attached proposal constitutes acceptance of the solicitation contents and the attached sample contract and general terms and conditions. If there are any exceptions to these terms, I/we have described those exceptions in detail at the end of the Proposal Cost Worksheet.
- 8. I/we acknowledge communication of any kind regarding my/our proposal directed to parties other than the identified Project Administrator and/or Point-of-Contact may result in my/our disqualification.
- 9. I/we warrant that no conflict of interest knowingly exists for any member of the project team that contributed to this proposal or prospective contract.
- 10. I/we the undersigned, understand that the above information, along with any additionally submitted documents, become part of any agreement subsequently made with KCCDA and I/we attest to the best of my/our knowledge to its accuracy.

Name of Person Completing this Fo	orm:		
Title:			
Signature:		Date:	

APPENDIX B

Certificate of Compliance with Public Act 517 of 2012

I certify that neither	(Company/Firm),
nor any of its successors, parent companies, subsidiaric control, is an "Iran Linked Business" engaged in investme more with the energy sector of Iran, within the meaning of In the event it is awarded a Contract as a result of this solid an "Iran linked business" during the course of performing	ent activities of \$20,000,000.00 or f Michigan Public Act 517 of 2012 citation, Company will not become
NOTE: IF A PERSON OR ENTITY FALSELY CERTIFIES T	
BUSINESS AS DEFINED BY PUBLIC ACT 517 OF 2012, IT	
PENALTIES OF NOT MORE THAN \$250,000.00 OR TW	
CONTRACT FOR WHICH THE FALSE CERTIFICATION WAS	-
PLUS COSTS AND REASONABLE ATTORNEY FEES INCUR	RED, AS MORE FULLY SET FORTH
IN SECTION 5 OF ACT NO. 517, PUBLIC ACTS OF 2012.	
Name of Person Completing this Form:	
Title:	
Signature:	Date:
oignature	Date.

APPENDIX C

Customer Reference Form

Please fill out this form completely and be as detailed as possible. Use a separate form for each reference listed. Submit a minimum of three references.

Projec	ct Name	
<u>Prima</u>	ary Customer Contact	
	Name:	
	Address:	
	Telephone Number:	
	Email:	
	ription of Project le detailed summary of the services performed and the years in which the project began and finaliz	zed.)

APPENDIX D

Proposal Cost Worksheet

I, the undersigned, certify that I have read and fully understand the specifications supplied by the Kalamazoo County Consolidated Dispatch Authority (KCCDA) in this Request for Proposal.

ALL EXCEPTIONS TAKEN TO SPECIFICATIONS AND TERMS/CONDITIONS CONTAINED HEREIN MUST BE IDENTIFIED BY NUMERICAL REFERENCE TO THE REQUEST FOR PROPOSAL SECTION AT THE END OF THIS COST WORKSHEET.

PROVIDER PRIMARY POINT OF CONTACT

Company/Vendor/Firm Name:	
Address:	
Primary Point of Contact:	
Telephone Number:	
Email:	
PROPOSAL/BID - COST	
PHASE I – Needs Assessment, Cost Analysis, and Conceptual Schen	natics
This should be inclusive of all costs to complete Phase I of the Scope of Work and should not include taxes	\$
PHASE II – Final Design, Detailed Drawings and Construction Service	es
This should include an estimate and an explanation of the general cost structure/concept for services included in Phase II (optional) of the Scope of Work	

Pa	ayment Policy/Terms:
contract nor other offered o	state that I have the authority to submit this proposal which will become a binding if accepted and selected by the KCCDA. I further state that I have not communicated with wise colluded with any other person or Provider, nor have I made any agreement with nor accepted anything of value from an official or employee of the KCCDA that would tend y or hinder free competition.
No busing Directors	ess agreement or contract is created until the proposal is authorized by KCCDA's Board of .
-	state that I have read, understand, and agree to be bound by all terms and conditions of est for Proposal document.
PERSON (COMPLETING FORM:
Name:	Title:
Telephon	e: Email:
Signature	:: Date:
ANY/ALL	EXCEPTIONS TO SPECIFICATIONS AND/OR TERMS AND CONDITIONS:

APPENDIX E

Kalamazoo County Consolidated Dispatch Authority 7040 Stadium Drive

KCCDA

As-Built Drawings

Drawing Index

G001	Cover Sheet, Index, Location Plan	P101	Plumbing General and Lower Level Plumbing Plan
G002	Code Review	P200	Foundation/Lower Level Plumbing Plans
C101	Site Plan	P201	Main Level Plumbing Plans
A001	Demolition Plans	M101	Mechanical General Requirements/Schedules
A101	Lower Level Floor Plan	M200	Lower Level HVAC Ductwork Plans
A102	Main Level Floor Plan	M201	Main Level HVAC Ductwork Plans
A201	Elevations		
A401	Lower Level Floor Finish Plan and Room Finish Schedule	E101	Electrical General Requirements/Schedules
A402	Main Level Floor Finish Plan and Room Finish Schedule	E102	Electrical Panel Schedules/One Line Diagrams
A411	Reflected Ceiling Plans	E103	Dispatch Center and Equipment Room Electrical Plans
A501	Wall Sections	E200	Lower Level Electrical Power Plan
A601	Door Schedules and Details	E201	Main Level Electrical Power Plan
A602	Interior Details and Millwork	E300	Lower Level Lighting Plan
		E301	Main Level Lighting Plan
S0.1	Structural - General Notes		

Project Team

Owner:

KCCDA 7040 Stadium Drive Kalamazoo, MI 49009

Project Architect:

Landmark Design Group, P.C. P.O. Box 888286 Grand Rapids, MI 49588

Structural Engineering:

JDH Engineering, Inc. 3000 Ivanrest SW, Suite B Grandville, MI 49418 (616) 531-6020

Mechanical & Electrical Engineering:

Morgan M. Landon, PE, LLC 2054 Brandon NW Grand Rapids, MI 49504 (616) 608-3372



PROJECT LOCATION PLAN NO SCALE



G001

Kalamazoo, MI 49009

Roof Framing Plan

Framing Details

Cover Sheet, Index, Location Plan	P101	Plumbing General and Lower Level Plumbing Plan
Code Review	P200	Foundation/Lower Level Plumbing Plans
Site Plan	P201	Main Level Plumbing Plans
Demolition Plans	M101	Mechanical General Requirements/Schedules
Lower Level Floor Plan	M200	Lower Level HVAC Ductwork Plans
Main Level Floor Plan	M201	Main Level HVAC Ductwork Plans
Elevations		
Lower Level Floor Finish Plan and Room Finish Schedule	E101	Electrical General Requirements/Schedules
Main Level Floor Finish Plan and Room Finish Schedule	E102	Electrical Panel Schedules/One Line Diagrams
Reflected Ceiling Plans	E103	Dispatch Center and Equipment Room Electrical Plans
Wall Sections	E200	Lower Level Electrical Power Plan
Door Schedules and Details	E201	Main Level Electrical Power Plan
Interior Details and Millwork	E300	Lower Level Lighting Plan
	E301	Main Level Lighting Plan
Structural - General Notes		

Code Review

Codes Used: Michigan Building Code, 2015 Michigan Rehabilitation Code 2015 Michigan Plumbing Code 2015 Michigan Mechanical Code 2015 National Electric Code 2014 ICC A117.1-2009, Accessible and Usable Buildings and Facilities

Michigan Rehabilitation Code:

CHAPTER 2 - DEFINITIONS

WORK AREA - Portion or Portions of a building consisting of reconfigured spaces.

CHAPTER 3 - PROVISIONS FOR ALL COMPLIANCE METHODS

301.1.2 - Work area compliance method

CHAPTER 5 - CLASSIFICATION OF WORK

504.1 - ALTERATION - LEVEL 2 - Refer to chapters 7 and 8 505.1 - ALTERATION - LEVEL 3 - DOES NOT APPLY. Work area is less than 50% of

Existing Lower Level area = 9,178 s.f. Work Area = 2,100 s.f. % work area = 22.8% Existing Main Level area = 9,612 s.f.

Work area = 2,050 s.f. % of work area = 21.3%

CHAPTER 7 - ALTERATIONS - LEVEL 1

The scope of this project includes the removal and replacement of some interior finishes as indicated on the drawings

CHAPTER 8 - ALTERATIONS - LEVEL 2 The building is in compliance.

Michigan Building Code

CHAPTER 3

303.1.2.1 Small assembly spaces

Training room total occupancy shall be limited to 49 occupants and classifies as Use

304.1 Business Group B

CHAPTER 5

Use Group B Type VB NS 9,000 sq. ft. Building area

Main Level = 9,612 sq. ft. Lower Level = 9,178 sq. ft.

506.3 Frontage Increase: I = [F/P - 0.25] W/30 $I = [\frac{468}{468} - 0.25]^{30}_{30} = 0.75$

Area increase = $9,000 + [9,000 \times .75] 1 = 15,750 \text{ sq. ft.}$ CHAPTER 10

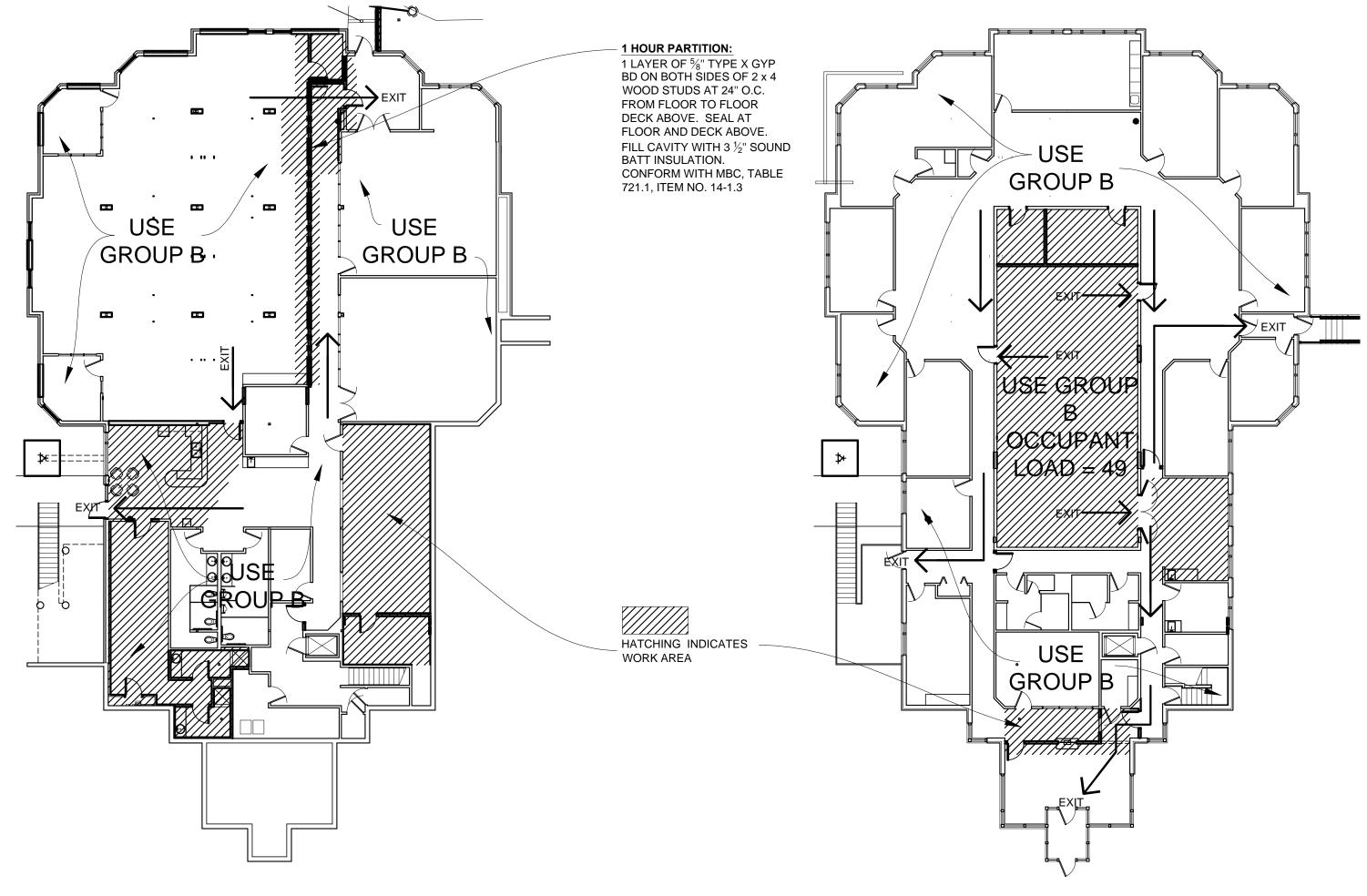
TABLE 1004.1.2 - MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT

Main Level:

Training Room (tables and chairs) 49 Occupants

8,288 s.f. $x \frac{1}{100}$ gross = 83 Occupants Business areas Lower Level:

9,178 s.f. a $\frac{1}{100}$ gross = 92 Business areas Occupants





BUILDING DATA:

1. FLOOR AREA (GFA) = 9,178 SQ. FT. 2. USE GROUP = B BUSINESS

3. OCCUPANCY: B, 9,178 SQ. FT. AT $\frac{1}{100}$ = 92 4. WORK AREA = 2,100 SQ. FT. = 22.8% OF THE



BUILDING DATA:

1. FLOOR AREA (GFA) = 9,612 SQ. FT. 2. USE GROUP = B BUSINESS

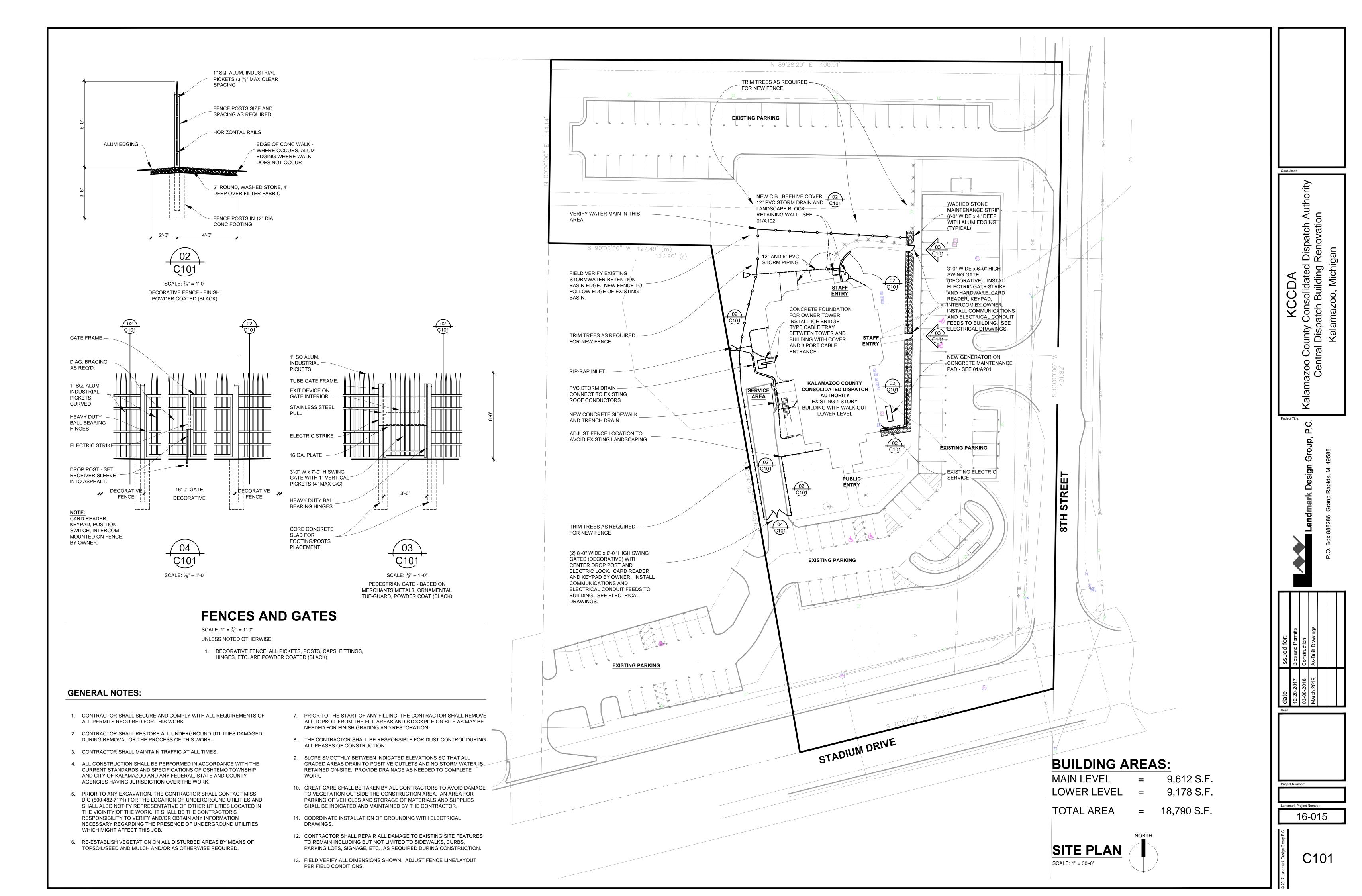
OCCUPANCY:

TRAINING ROOM = 49 OCCUPANTS (USE GROUP B),

REMAINDER = 8,288 SQ. FT. AT $\frac{1}{100}$ = 83 4. WORK AREA = 2,050 SQ. FT. = 21.3% OF THE

16-015

G002



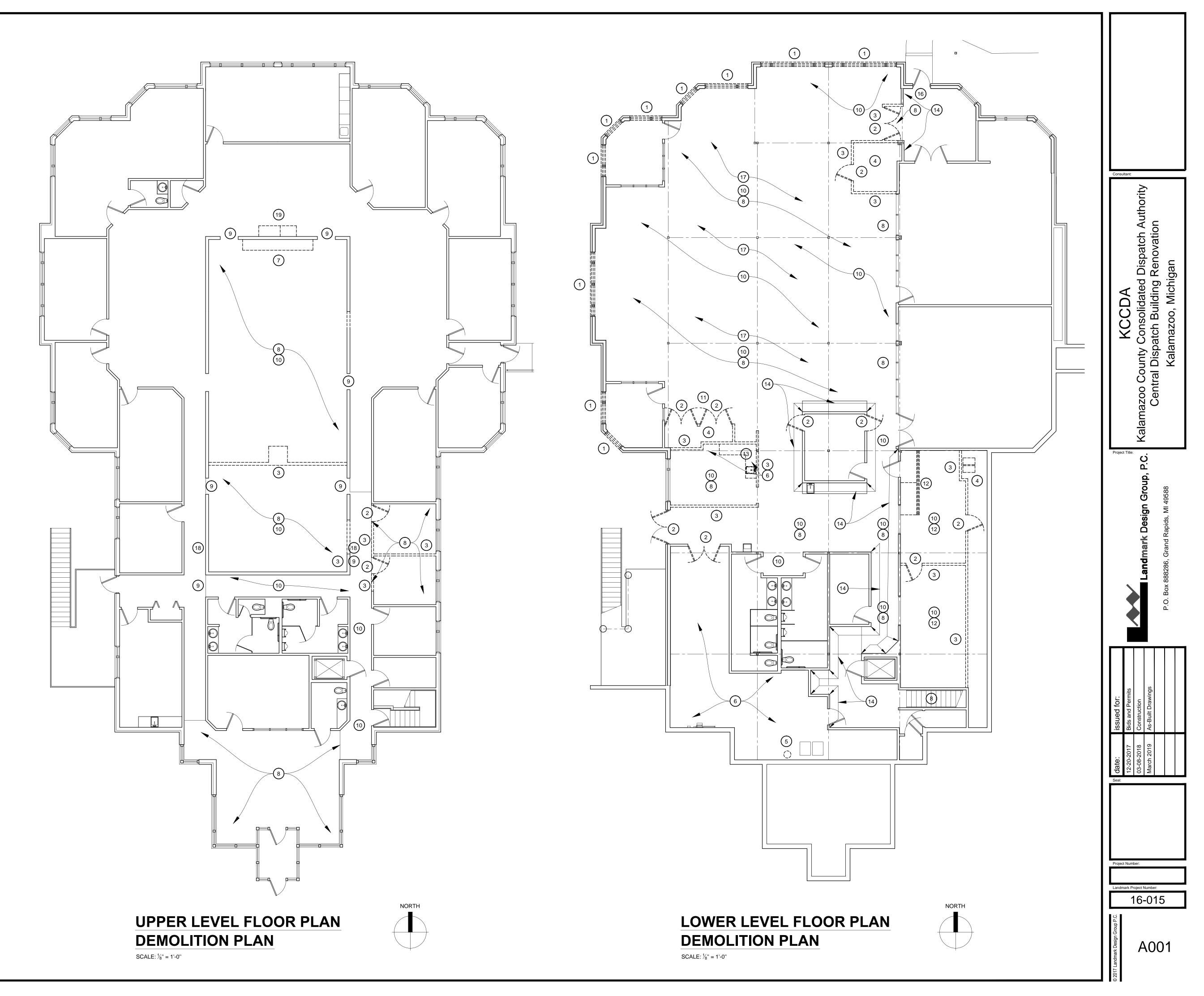
RFP #25-01 - Page #23

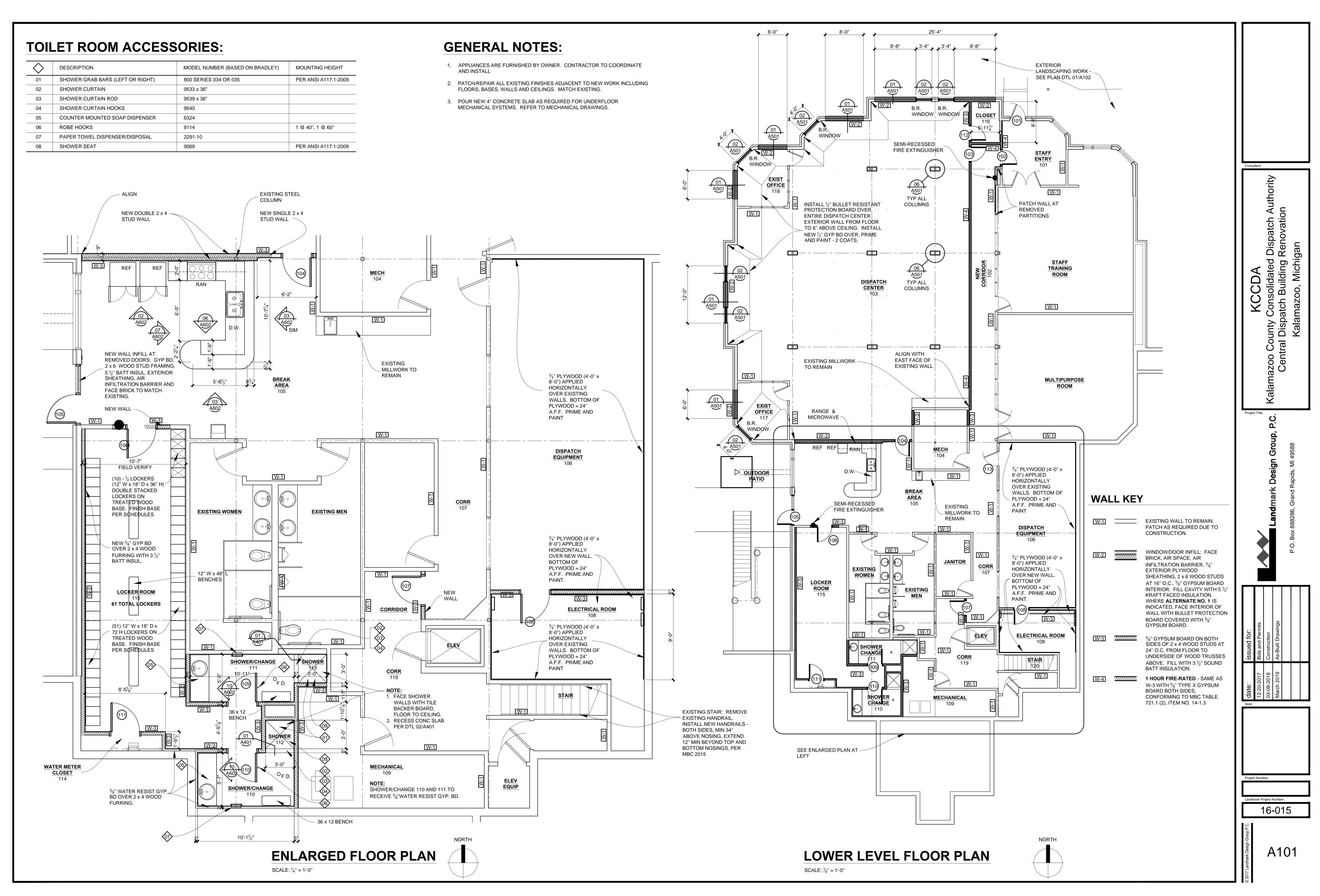
DEMOLITION KEYED NOTES

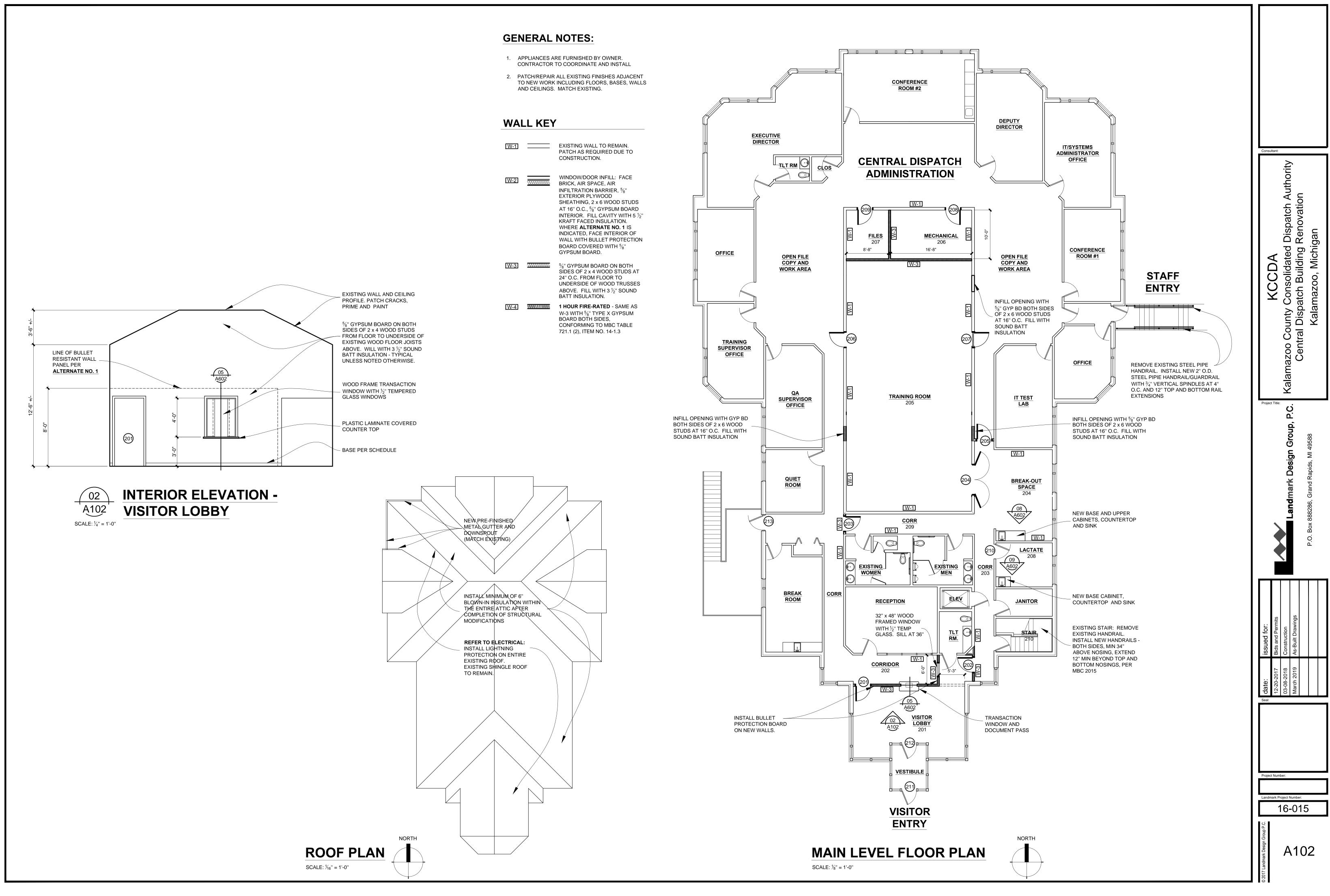
- REMOVE GLASS FRAMES, SILL, ETC, AS REQUIRED FOR NEW CONSTRUCTION.
- 2 REMOVE DOOR AND FRAME
- 3 REMOVE WALL FULL HEIGHT
- REMOVE MECHANICAL EQUIPMENT REFER TO MECHANICAL DRAWINGS
- 5 REMOVE WATER HEATER REFER TO MECHANICAL
- REMOVE CONCRETE SLAB AS REQUIRED FOR NEW UNDERFLOOR PIPING AND NEW FINISHES. REFER TO ARCHITECTURAL MECHANICAL DRAWINGS.
- 7 REMOVE CABINET. RELOCATE PER DRAWINGS
- 8 REMOVE FLOOR FINISHES ETC. AS REQUIRED. PREPARE SUBFLOOR FOR NEW FINISHES AS REQUIRED
- REMOVE/TRIM EXISTING FLOOR FINISHES AS REQUIRED FOR NEW FINISHES
- (10) REMOVE SUSPENDED CEILING TILE AND GRID.
- NOT USED.
- REMOVE RAISED ACCESS FLOOR, RAMP, RAILINGS, ETC.
 PREPARE EXISTING CONCRETE SLAB AS REQUIRED FOR NEW FINISHES.
- REMOVE MILLWORK (CABINETS, COUNTERTOPS, UPPER CABINETS, SINK, PIPING, ETC.
- REMOVE WALL COVERING. PREPARE WALLS AS REQUIRED FOR NEW FINISHES.
- NOT USED
- REMOVE FLOOR FINISH FROM EXISTING RECESSED FLOOR MAT. PREPARE AS REQUIRED TO ACCEPT NEW FINISHES.
- REMOVE FLOOR BOX COVERS ABANDON AND CAP. PATCH FLOOR AS REQUIRED TO ACCEPT NEW FINISHES
- REMOVE AND RE-INSTALL EXISTING FIRE EXTINGUISHER CABINETS AS REQUIRED DUE TO NEW CONSTRUCTION.
- REMOVE BUILT-IN FURNITURE. PREPARE WALLS AS REQUIRED TO ACCEPT NEW FINISHES.

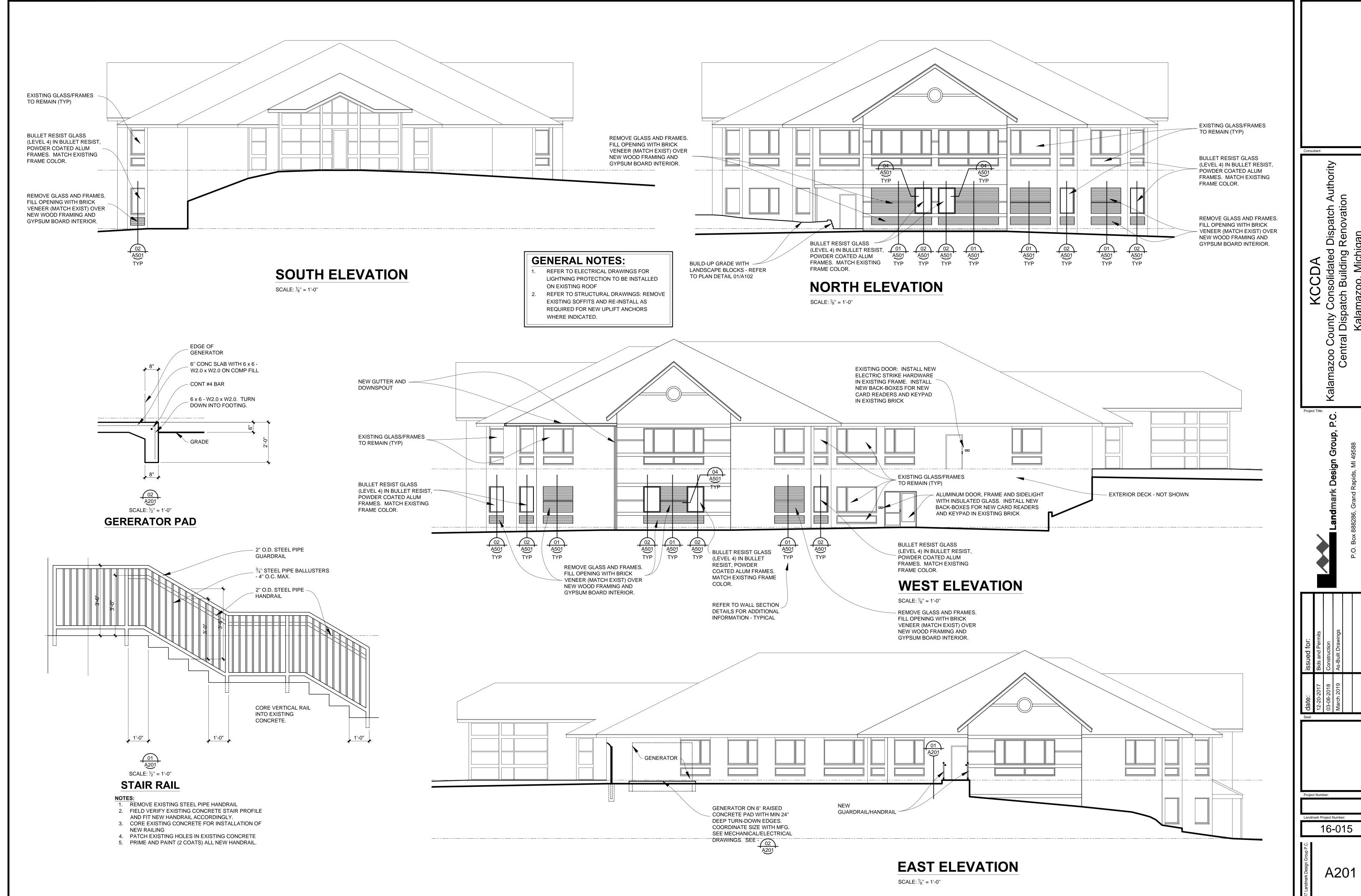
GENERAL DEMOLITION NOTES

- 1. THE DEMOLITION DRAWINGS ARE INTENDED TO INDICATE THE BOUNDS OF WORK REQUIRED. IT IS NOT EXPECTED THAT EVERY ITEM WILL BE SPECIFICALLY CALLED OUT IN THE DOCUMENTS. CONTRACTOR SHALL PROVIDE ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION REGARDLESS IF SHOWN ON DRAWINGS OR NOT.
- PATCH AND REPAIR EXISTING CONSTRUCTION AS REQUIRED DUE TO DEMOLITION. PATCH TO MATCH ADJACENT FINISH.
- 3. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR MECHANICAL AND ELECTRICAL DEMOLITION INFORMATION. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR WORK TO BE BUILT-IN TO EXISTING BUILDING AND THEREFORE REQUIRING DEMOLITION. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR PIPING, CONDUITS, DUCTWORK AND OTHER EQUIPMENT AND ITEMS THAT ARE BUILT-IN OR PASS THROUGH EXISTING WALLS, ROOF, FLOOR OR OTHER EXISTING ITEMS AND REQUIRE DEMOLITION. PROVIDE REQUIRED WORK.
- 4. REFER TO WALL SECTIONS FOR ADDITIONAL DEMOLITION INFORMATION
- 5. CONTRACTOR SHALL TAKE PRECAUTIONS AND PROVIDE ANY SHORING AND BRACING OF EXISTING BEARING WALLS REQUIRED. USE APPROPRIATE PRECAUTIONS AT THOSE AREAS. REFER TO ADDITIONAL INFORMATION ON STRUCTURAL DRAWINGS.
- 6. REMOVE EXISTING FLOOR FINISHES AND BASE, STRIP SUB-FLOOR, BASE AND ADHESIVES THROUGHOUT AS REQUIRED TO ACCEPT NEW FINISHES.
- 7. REMOVE CONCRETE FLOOR SLAB AS REQUIRED FOR INSTALLATION OF NEW UNDERFLOOR PLUMBING REFER TO MECHANICAL DRAWINGS.
- 8. REMOVE ALL MARKER BOARDS, DISPLAY CASES, DISPLAYS, WALL MOUNTED ITEMS, ETC. AS REQUIRED TO ACCEPT NEW FINISHES. PREPARE WALLS AS REQUIRED TO ACCEPT NEW FINISHES.









RFP #25-01 - Page #27

LOWER LEVEL ROOM FINISH SCHEDULE

NUMBER	NAME	FINISH				NOTES: REFER TO
		BASE FLOOR WALL		WALL	CEILING	GENERAL NOTES KEY
	STAIR	RB-1, RSS-1	RT-1,RST-1,RSR-1	PAINT - P-1		10, 15, 13
101	STAFF ENTRANCE	EXIST/RB-1	EXIST/INSERTS	EXIST/PAINT	EXIST	3, 10, 14, 16
102	NEW CORRIDOR	RB-3	LVT-1	PAINT - P-1	AC-1	3, 4, 10, 13
103	DISPATCH CENTER	RB-2	CPT-2	PAINT - P-1	AC-2	3, 4, 7, 13
104	MECHANICAL	EXIST	EXIST	EXIST	EXIST	1, 3
105	BREAK AREA	RB-3	LVT-1	PAINT - P-1	AC-1	3, 4, 7, 8, 10, 13
106	DISPATCH EQUIPMENT	RB-2	SVT-1	PAINT - P-1	AC-1	3, 4
107	CORRIDOR	RB-3	LVT-1	PAINT - P-1	AC-1	3, 4, 10, 13
108	ELECTRICAL ROOM	RB-2	SVT-1	PAINT - P-1	AC-1	4
109	MECHANICAL	EXIST	EXIST	EXIST		3
110	SHOWER/CHANGE	СМВ	СМТ	PAINT - P-1	AC-3	3, 4
111	SHOWER/CHANGE	СМВ	CMT	PAINT - P-1	AC-3	3, 4
112	SHOWER	СМВ	СМТ	CWT	PAINT - P-1	4
113	SHOWER	СМВ	CMT	CWT	PAINT - P-1	4
114	WATER METER CLOSET					3
115	LOCKER ROOM	RB-3	LVT-1	PAINT - P-1	AC-1	3, 4
116	CLOSET	RB-2	CPT-2	PAINT - P-1	EXIST- AC-4	4
117	EXISTING OFFICE	CPTB-1	CPT-1	PAINT - P-1	EXIST	3, 4
118	EXISTING OFFICE	CPTB-1	CPT-1	PAINT - P-1	EXIST	3, 4
119	EXISTING CORRIDOR	RB-3	LVT-1	PAINT - P-1	EXIST	3, 4, 6, 10, 13
120	EXISTING STAIR	RSR	RST, RSR, RSS	-	-	15

ROOM FINISH SCHEDULE KEY

MATERIALS

BASE

CPTB = CARPET BASE

CMB = CERAMIC MOSAIC TILE BASE - 6" HIGH

PTB = PAVER TILE BASE

RB = RUBBER BASE EX = EXISTING

FLOOR

CPT = CARPET

CMT = CERAMIC MOSAIC TILE

LVT = VINYL COMPOSITION TILE

PT = PAVER TILE

SEAL = SEALED CONCRETE

SVT = SOLID VINYL TILE

RT = RUBBER TILE

RST = RUBBER STAIR TREAD

RSR = RUBBER STAIR RISER

RSS = RUBBER STAIR STRINGER VCT = VINYL COMPOSITION TILE EX = EXISTING

WALLS

P = PAINT

CWT = CERAMIC WALL TILE

EX = EXISTING

EX = EXISTING

CEILING

AC = ACOUSTIC TILE
P = PAINT
EXP = EXPOSED CONSTRUCTION

FINISHES - SEE SPEC FOR PAINT TYPE

FAC = FACTORY
P-1 = PAINT - LATEX (MULTIPLE COLORS)
P-2 = NOT USED
P-3 = PAINT - ALKYD DTM

FLOOR PLAN MATERIAL KEY

CMT - CERAMIC MOSAIC TILE

+ + + + +

CPT-2 - ANTI STATIC CARPET TILE

LVT - LUXURY VINYL TILE

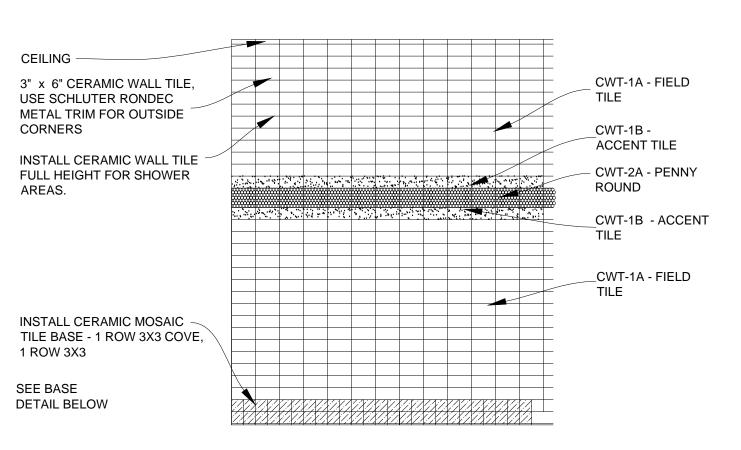
SVT - SOLID VINYL TILE

RT-RST-RSR-RSS -RUBBER TILE AND STAIR TREADS,RISERS,STRINGERS

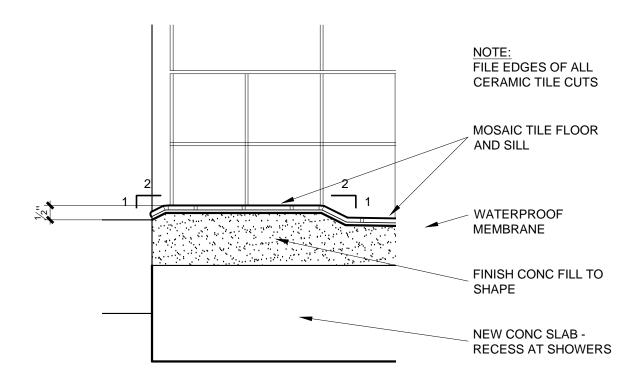
VCT - VINYL COMPOSITION TILE

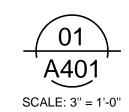
ROOM FINISH GENERAL NOTES KEY

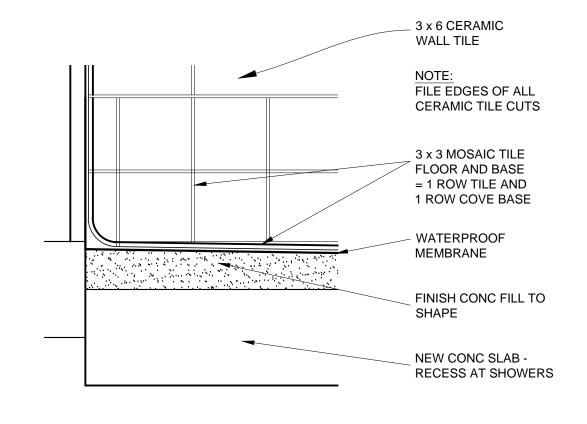
- (1) TRIM EXISTING FLOOR, BASE, WALL AND CEILING FINISHES TO ACCEPT NEW CONSTRUCTION. PATCH ADJACENT FINISHES DUE TO NEW CONSTRUCTION.
- (2) RECESS CONCRETE SLAB FOR SHAPING OF NEW SLOPED FINISHED FLOOR AND SILL. CONFORM WITH BARRIER FREE REQUIREMENTS FOR SHOWER ENTRANCE AT SILL..
- (3) INSTALL METAL OR RUBBER TRANSITION STRIP.
- (4) REMOVE EXISTING FLOOR FINISHES AND ADHESIVES AS REQUIRED FOR NEW CONSTRUCTION. FULLY PREPARE EXISTING FLOOR TO SMOOTH AND ADHESIVE FREE SURFACE AS REQUIRED TO RECEIVE NEW. IN AREAS TO RECEIVE LUXURY VINYL FLOORING INSTALL LAYER OF FLOORING SKIM COAT SUCH AS ARDEX IF REQUIRED TO ACHIEVE A SMOOTH SURFACE.
- (5) INSTALL NEW CEILING GRID AND TILE AT REMOVED WALLS. MATCH EXISTING.
- (6) CUT/REPAIR/PATCH EXISTING CEILING AND GRID AT NEW CONSTRUCTION.
- (7) PAINT BULKHEADS.
- (8) INSTALL RUBBER BASE AT NEW MILLWORK.
- (9) INSTALL WOOD CHAIR RAIL.
- (10) PAINT SOME EXISTING WALLS AS INDICATED.
- (11) PAINT ALL NEW WALLS.
- (12) PATCH/REPAIR EXISTING GYPSUM BOARD CEILING, PRIME AND PAINT.
- (13) REMOVE EXISTING WALLPAPER AND FULLY PREPARE WALLS TO A SMOOTH FINISH TO RECEIVE NEW PAINT.
- (14) REPLACE EXISTING CARPET INSERTS IN 101 STAFF ENTRANCE.
- (15) REMOVE EXISTING MATERIALS AT STAIR TREA,DS, RISERS,
 LANDINGS AND BASE AND PREPARE SURFACES TO RECEIVE NEW
 STAIR MATERIALS.
- (16) REMOVE EXISTING BASE AND INSTALL NEW BASE AT LOCATIONS INDICATED.

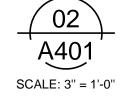


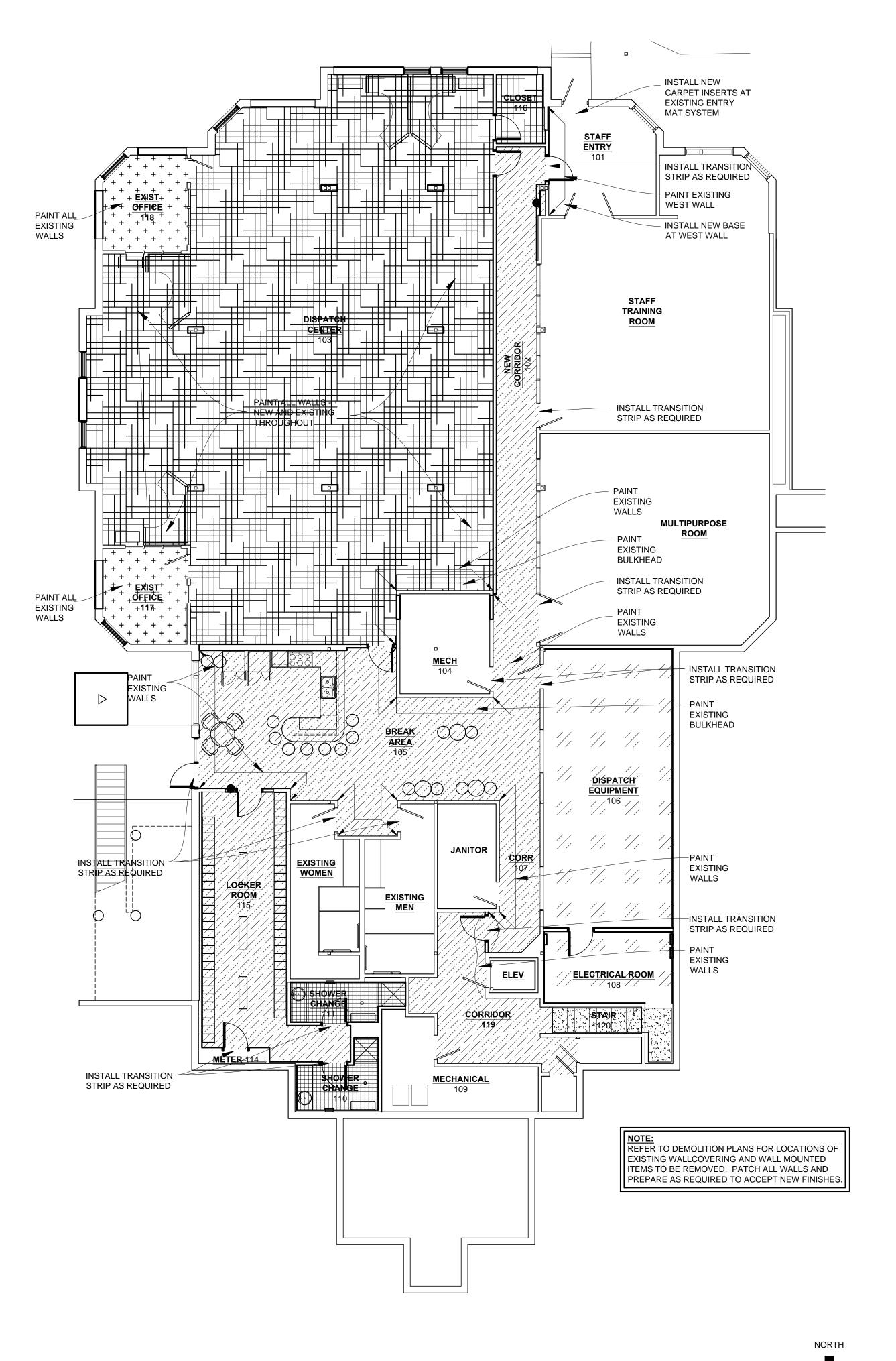
CERAMIC FLOOR TILE & BASE WITH CERAMIC WALL TILE LAYOUT











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MAIN LEVEL ROOM FINISH SCHEDULE

NUMBER	NAME		FINISH			
		BASE	FLOOR	WALL	CEILING	GENERAL NOTES KEY
201	VISITOR LOBBY	PTB-1	PT -1	PAINT - P-1	AC-1,PAINT - P-1	10, 12
202	CORRIDOR	RB-3	LVT-1	PAINT - P-1	AC-1	3, 4, 10
203	CORRIDOR	RB-3	LVT-1	PAINT - P-1	AC-1	3, 4, 10
204	BREAK-OUT SPACE	RB-3	LVT-1	PAINT - P-1	AC-1	1, 3, 4, 8
205	TRAINING ROOM	RB-3	LVT-1	PAINT - P-1	AC-2	4, 9
206	MECHANICAL	RB -1	VCT -1	PAINT - P-1	EXIST	3, 4
207	FILES	CPT-1	CPT -1	PAINT - P-1	AC-1	4
208	LACTATE	EXIST / RB-1	EXIST	EXIST / P-1	EXIST	3, 8, 10
209	CORRIDOR	RB-3	LVT-1	EXIST / P-1	AC-1	3, 4, 10
210	EXISTING STAIR	RSR	RST, RSR, RSS	-	-	15
	EXISTING AREAS					1, 3, 10

ROOM FINISH SCHEDULE KEY

MATERIALS

EX = EXISTING

CPTB = CARPET BASE CMB = CERAMIC MOSAIC TILE BASE - 6" HIGH PTB = PAVER TILE BASE RB = RUBBER BASE

CPT = CARPET CMT = CERAMIC MOSAIC TILE LVT = VINYL COMPOSITION TILE PT = PAVER TILE SEAL = SEALED CONCRETE SVT = SOLID VINYL TILE RT = RUBBER TILE

RST = RUBBER STAIR TREAD RSR = RUBBER STAIR RISER RSS = RUBBER STAIR STRINGER VCT = VINYL COMPOSITION TILE EX = EXISTING

P = PAINTCWT = CERAMIC WALL TILE EX = EXISTING

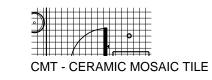
CEILING AC = ACOUSTIC TILE

P = PAINTEXP = EXPOSED CONSTRUCTION EX = EXISTING

FINISHES - SEE SPEC FOR PAINT TYPE

FAC = FACTORY P-1 = PAINT - LATEX (MULTIPLE COLORS) P-2 = NOT USED P-3 = PAINT - ALKYD DTM

FLOOR PLAN MATERIAL KEY



CPT-1 - CARPET

CPT-2 - ANTI STATIC CARPET TILE

LVT - LUXURY VINYL TILE

PT-1 - PAVER TILE

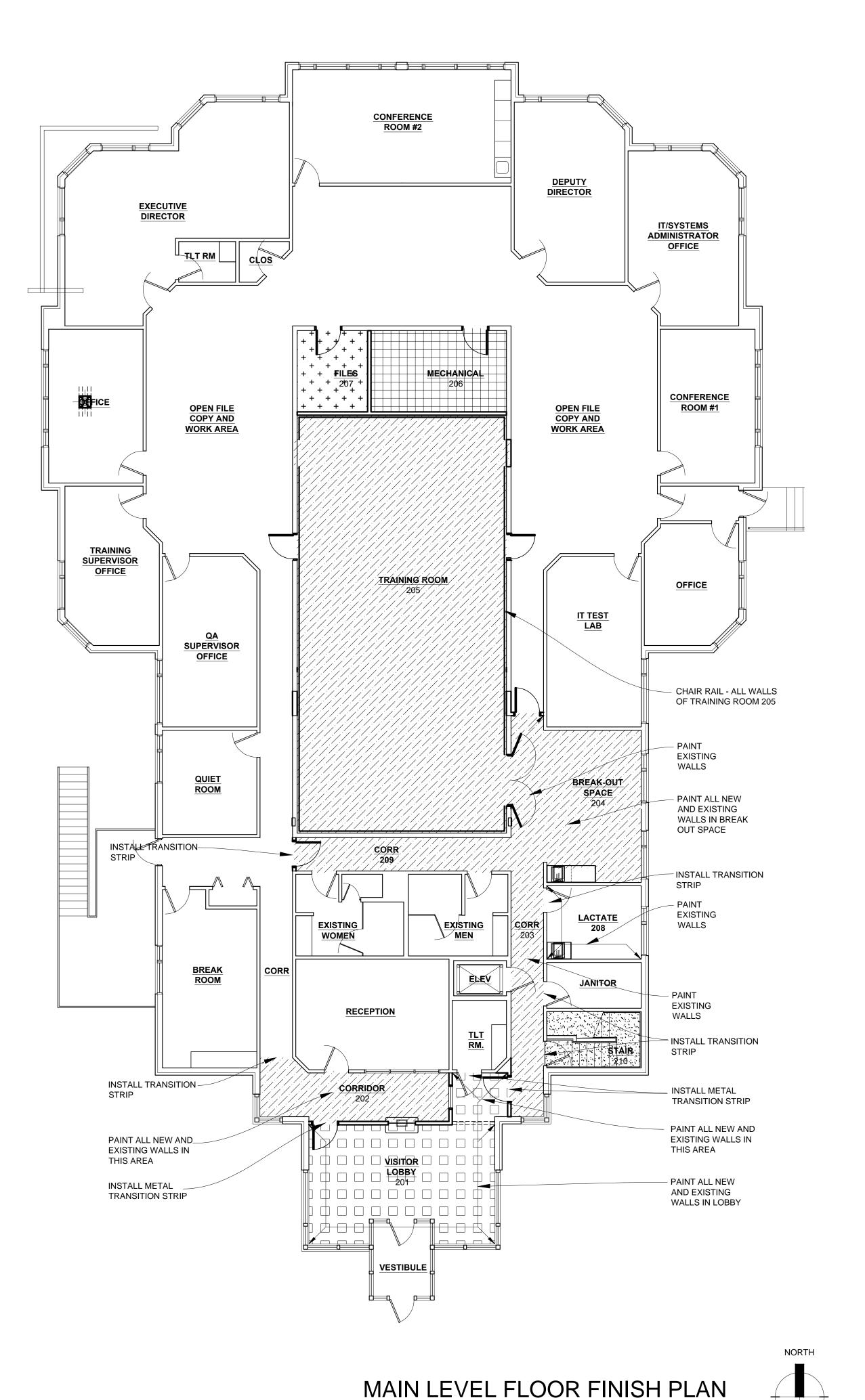
// // // SVT - SOLID VINYL TILE

RT-RST-RSR-RSS -RUBBER TILE AND STAIR TREADS, RISERS, STRINGERS

VCT - VINYL COMPOSITION TILE

ROOM FINISH GENERAL NOTES KEY

- (1) TRIM EXISTING FLOOR, BASE, WALL AND CEILING FINISHES TO ACCEPT NEW CONSTRUCTION. PATCH ADJACENT FINISHES DUE TO NEW CONSTRUCTION.
- RECESS CONCRETE SLAB FOR SHAPING OF NEW SLOPED FINISHED FLOOR AND SILL. CONFORM WITH BARRIER FREE REQUIREMENTS FOR SHOWER ENTRANCE AT SILL
- INSTALL METAL OR RUBBER TRANSITION STRIP
- REMOVE EXISTING FLOOR FINISHES AND ADHESIVES AS REQUIRED FOR NEW CONSTRUCTION. FULLY PREPARE EXISTING FLOOR TO SMOOTH AND ADHESIVE FREE SURFACE AS REQUIRED TO RECEIVE NEW. IN AREAS TO RECEIVE LUXURY VINYL FLOORING INSTALL LAYER OF FLOORING SKIM COAT SUCH AS ARDEX IF REQUIRED TO ACHIEVE A SMOOTH SURFACE.
- INSTALL NEW CEILING GRID AND TILE AT REMOVED WALLS. MATCH EXISTING.
- NOT USED
- PAINT BULKHEADS.
- INSTALL RUBBER BASE AT NEW MILLWORK.
- INSTALL WOOD CHAIR RAIL..
- PAINT SOME EXISTING WALLS AS INDICATED.
- PAINT ALL NEW WALLS.
- PATCH/REPAIR EXISTING GYPSUM BOARD CEILING, PRIME AND
- (13) REMOVE EXISTING WALLPAPER AND FULLY PREPARE WALLS TO A SMOOTH FINISH TO RECEIVE NEW PAINT.
- REPLACE EXISTING CARPET INSERTS IN 101 STAFF ENTRANCE.
- REMOVE EXISTING MATERIALS AT STAIR TREA, DS, RISERS, LANDINGS AND BASE AND PREPARE SURFACES TO RECEIVE NEW STAIR MATERIALS.
- REMOVE EXISTING BASE AND INSTALL NEW BASE AT LOCATIONS INDICATED.

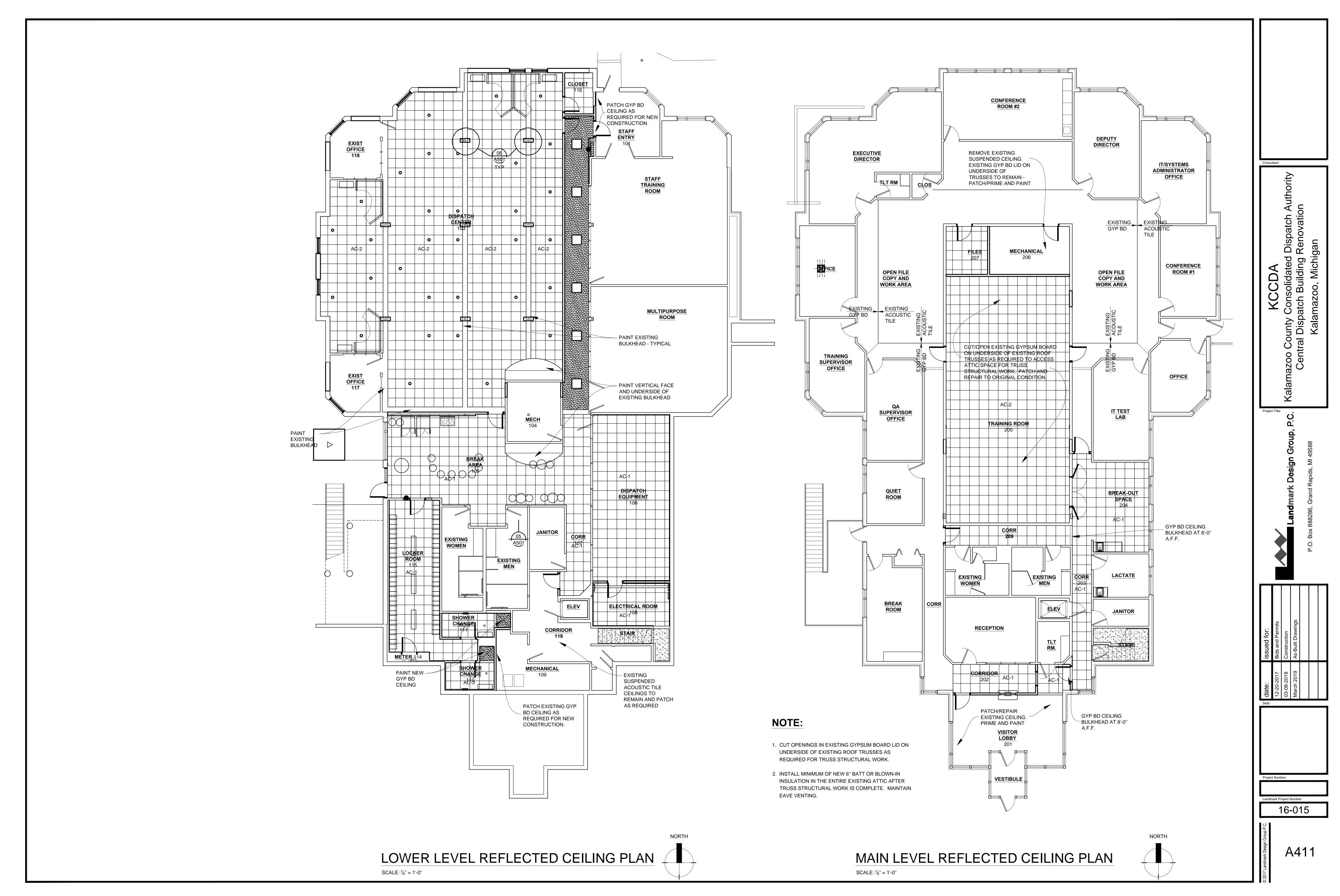


SCALE: ½" = 1'-0"

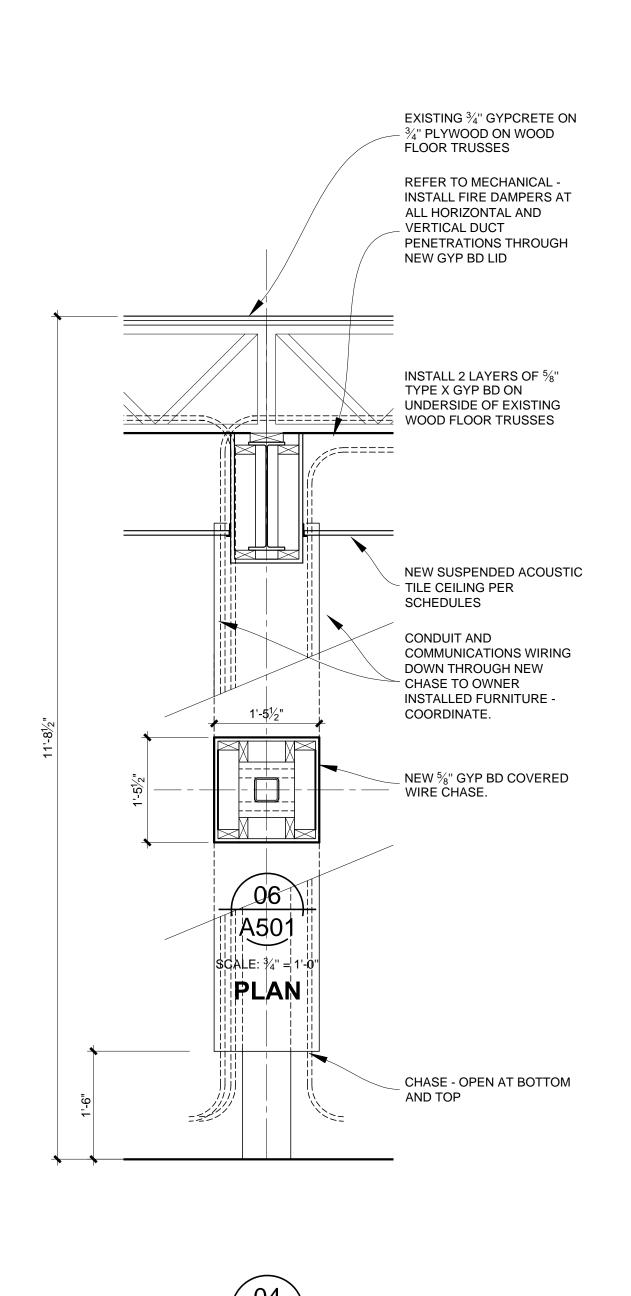
RFP #25-01 - Page #29

16-015

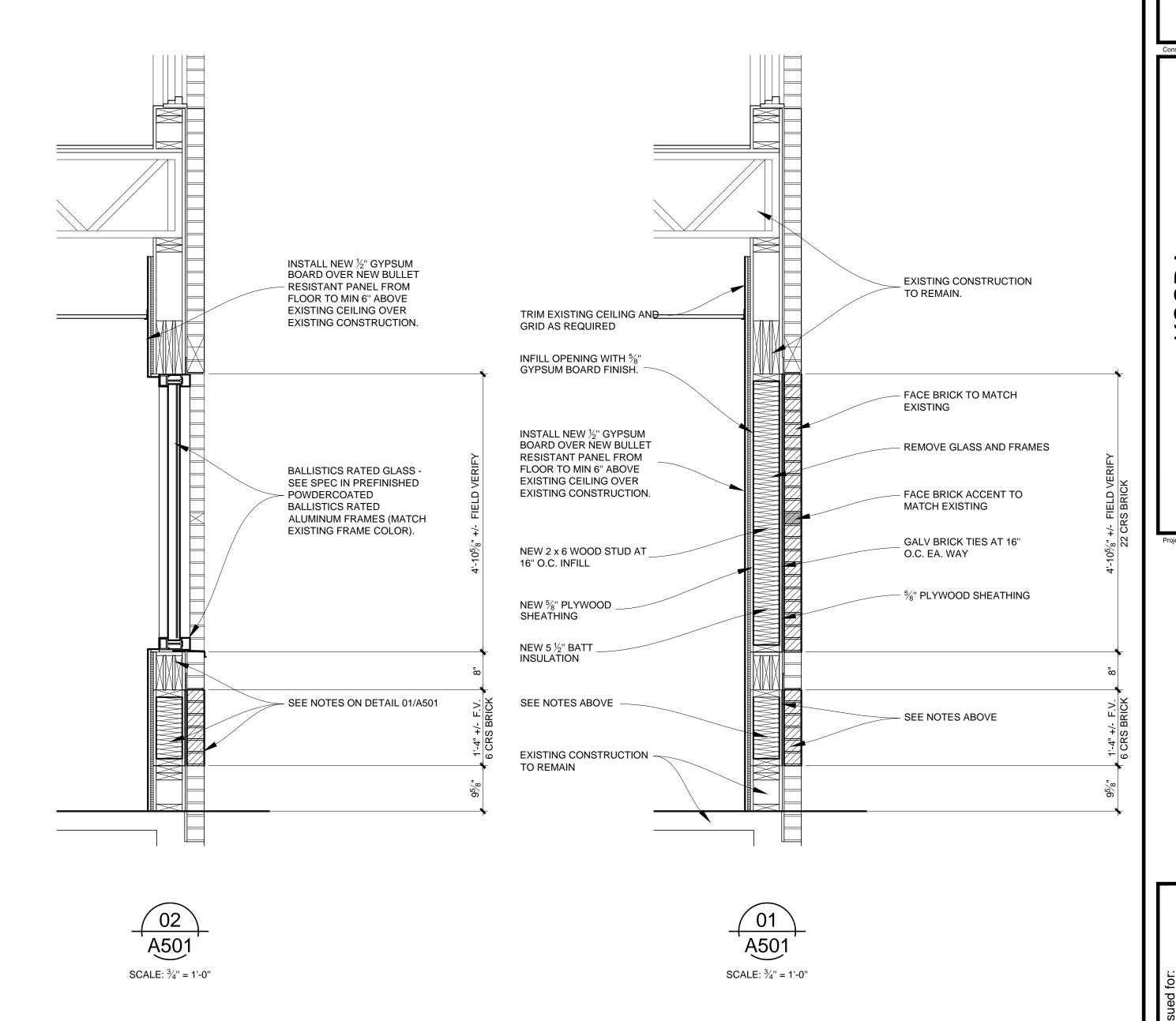
A402



RFP #25-01 - Page #30



SCALE: 3/4" = 1'-0"



16-015

A501

Door Schedule NUMBER DOOR HARDWARE NOTES | MATERIAL | TYPE | GLASS | FINISH | LABEL MATERIAL TYPE FINISH LABEL SIZE DETAIL LxWxT LxWxT **LOWER LEVEL** 101 EXISTING **EXISTING** 102 H1 | PA | C2 | PF HM1 PT 02/A601 3'-4" x 7'-2" x 5 $\frac{3}{4}$ " 3'-0" x 7'-0" x 1 ³/₄" 103 W NL FR PF PT 45 MIN 02/A601 3'-4" x 7'-2" x 5 ¾" HM1 | | ST | C2 | ES | 1 | 2 | 3'-0" x 7'-0" x 1 3/4" 104 W NL G1 PF HM1 PT 02/A601 3'-0" x 7'-0" x 1 3/4" 3'-4" x 7'-2" x 5 ³/₄" 105 AL FG INSUL 4M 5M 7M 8M 9M FAC 05/A601 SIM 11M ST | C2 | ES | 3'-0" x 7'-0" x 1 ³/₄" 6'-4" x 7'-2" x 5 ¾" 4 FAC 106 W PF PT 02/A601 3'-4" x 7'-2" x 5 ¾" HM1 1 H1 | PA | C2 | 3'-0" x 7'-0" x 1 ³/₄" 6 107 PF PT 45 MIN 02/A601 W HM1 | ST | C2 | ES | 3'-0" x 7'-0" x 1 ³/₄" 3'-4" x 7'-2" x 5 ³/₄" 108 W F PF PT 02/A601 3'-4" x 7'-2" x 5 ¾" HM1 H1 PA 3'-0" x 7'-0" x 1 ³/₄" 1 109 W | F PF HM1 1 PT 02/A601 6 3'-0" x 7'-0" x 1 ³/₄" 3'-4" x 7'-2" x 5 ³/₄" H1 | PR | C2 110 PF 02/A601 3'-0" x 7'-0" x 1 ³/₄" W 3'-4" x 7'-2" x 5 ³/₄" HM1 PT H1 PR C2 111 PF PT 02/A601 W F HM1 3'-0" x 7'-0" x 1 ³/₄" 3'-4" x 7'-2" x 5 ³/₄" |1 | ST |C2 112 1 | W F PF PT 02/A601 3'-4" x 7'-2" x 5 $\frac{3}{4}$ " HM1 11 | PA 3'-0" x 7'-0" x 1 ³/₄" 113 EXISTING EXISTING ST ES 3, 4 2 **MAIN LEVEL** 201 PF TO FIT DOOR ST H1 ST C1 ES 1 2 3'-0" x 7'-0" x 1 ³/₄" W F W 3 01/A601 202 ST W F PF TO FIT DOOR 01/A601 H1 | ST | C1 | ES | 1 | 2 3'-0" x 7'-0" x 1 ¾" 3 203 PF TO FIT DOOR 01/A601 W F 3 ST H1 | ST | C1 | ES | 1 | 2 | 3'-0" x 7'-0" x 1 ³/₄" 204 W DBL PF TO FIT DOOR 3 ST 03/A601 W PR 3'-0" x 7'-0" x 1 3/4" 205 W PF TO FIT DOOR 3 ST 01/A601 3'-0" x 7'-0" x 1 ³/₄" W 206 PF **EXIST EXIST** ST 3'-0" x 7'-0" x 1 ³/₄" W F 11 | ST | C2 | 2, 6 207 W | F PF TO FIT DOOR ST 3 03/A601 |1 | ST | C2 3'-0" x 7'-0" x 1 ³/₄" W 208 11 ST C2 PF TO FIT DOOR ST 01/A601 W 3'-0" x 7'-0" x 1 ³/₄" 3 209 PF TO FIT DOOR ST 01/A601 W F 3 |1 | ST | C2 3'-0" x 7'-0" x 1 ³/₄" 210 **EXISTING EXISTING** PR 211 **EXISTING** EXISTING C3 212 **EXISTING EXISTING** C3 213 EXISTING **EXISTING** ST ES

PER SCHEDULE

DBL

1 x 4

STAIN

HARDWOOD

AND STOPS -

CASING, JAMB

PER SCHED.

1" INSUL TEMP

- FLUSH BOLTS

AND DUMMY

GLASS

LEVER

PER SCHEDULE

DOOR STYLES

FRAME ELEVATIONS

PER SCHED.

PER SCHEDULE

NL

PER SCHED.

GLASS PER

SCHEDULE.

DOOR SCHEDULE KEY

DOOR

MATERIAL W = WOOD

HM1 = HOLLOW METAL 16 GA.

AL = ALUMINUM

TYPE F = FLUSHFL = FULL LIGHT HL = HALF LIGHT

GLASS

 $G1 = \frac{1}{4}$ " TEMPERED FR = FIRE LITE, PER MBC 2012, TABLE 716.5 INSUL = 1" INSULATED TEMPERED GLASS

FRAME

MATERIAL HM1 = HOLLOW METAL 16 GA.

W = WOOD (HARDWOOD)AL = ALUMINUM

1 = HOLLOW METAL

2 = HOLLOW METAL WITH SIDELIGHT 3 = WOOD

4 = ALUMINUM

FINISH - DOOR AND FRAME

PT = PAINT PF = PRE-FINISHED WOOD DOOR - STANDARD MANUFACTURERS COLORS FAC = FACTORY ST = STAIN

HARDWARE

HINGES - 3 EA.

H1 = HINGES: TA2714 4 1/2 x 4 1/2 US26D - McKinney

H2 = 204 FMSS, SOUTHERN-FOLGER

LOCK ST = STOREROOM LOCKSET: 10 LINE SERIES, GRADE 1, 10G04 - SARGENT CL = CLASSROOM LOCKSET:10 LINE SERIES, GRADE 1, 10G37 - SARGENT PA = PASSAGE LOCKSET: 10 LINE SERIES, GRADE 1, 10U15 - SARGENT

PR = PRIVACY LOCKSET: 10 LINE SERIES, GRADE 1, 10U65 - SARGENT

CLOSER

C1 = CLOSER: 4111 - LCN

C2 = CLOSER: 4111 SPRING CUSH - LCN C3 = BARRIER FREE DOOR OPERATOR: 9142 SERIES, POWERED DOOR OPERATOR, HEAVY

DUTY, ALUMINUM. FURNISH WITH BARRIER FREE OPERATOR PAD SWITCH IN LOCATIONS SHOWN ON THE DRAWINGS. PROVIDE OVERLOAD PROTECTION WHEN DOOR IS LOCKED.

CONTROL ES = ELECTRIC STRIKE, 6210, VON DUPRIN

MISCELLANEOUS

1 = WALL STOP: 400 US26D - ROCKWOOD

2 = POWER SUPPLY: PS-873BK 24 VDC - VON DUPRIN 3 = AUTOMATIC DOOR BOTTOM: 420NA - NATIONAL GUARD

4 = PUSH: 70B US32D - ROCKWOOD

4M = MANUFACTURER PUSH 5 = PULL: 107 x 70B US32D - ROCKWOOD

5M = MANUFACTURER PUSH 6 = KICK PLATE, 2 EA.: 12" X D.W.-2" US32D X US18 B3E - ROCKWOOD

7 = THRESHOLD: 896N - NATIONAL GUARD

7M = MANUFACTURER STANDARD THRESHOLD 8 = WEATHER SEAL: 5020C - NATIONAL GUARD

8M = MANUFACTURER STANDARD WEATHER SEAL

9 = SWEEP: 600A - NATIONAL GUARD

9M = MANUFACTURER STANDARD SWEEP 10 = FLUSH BOLTS

GENERAL NOTES

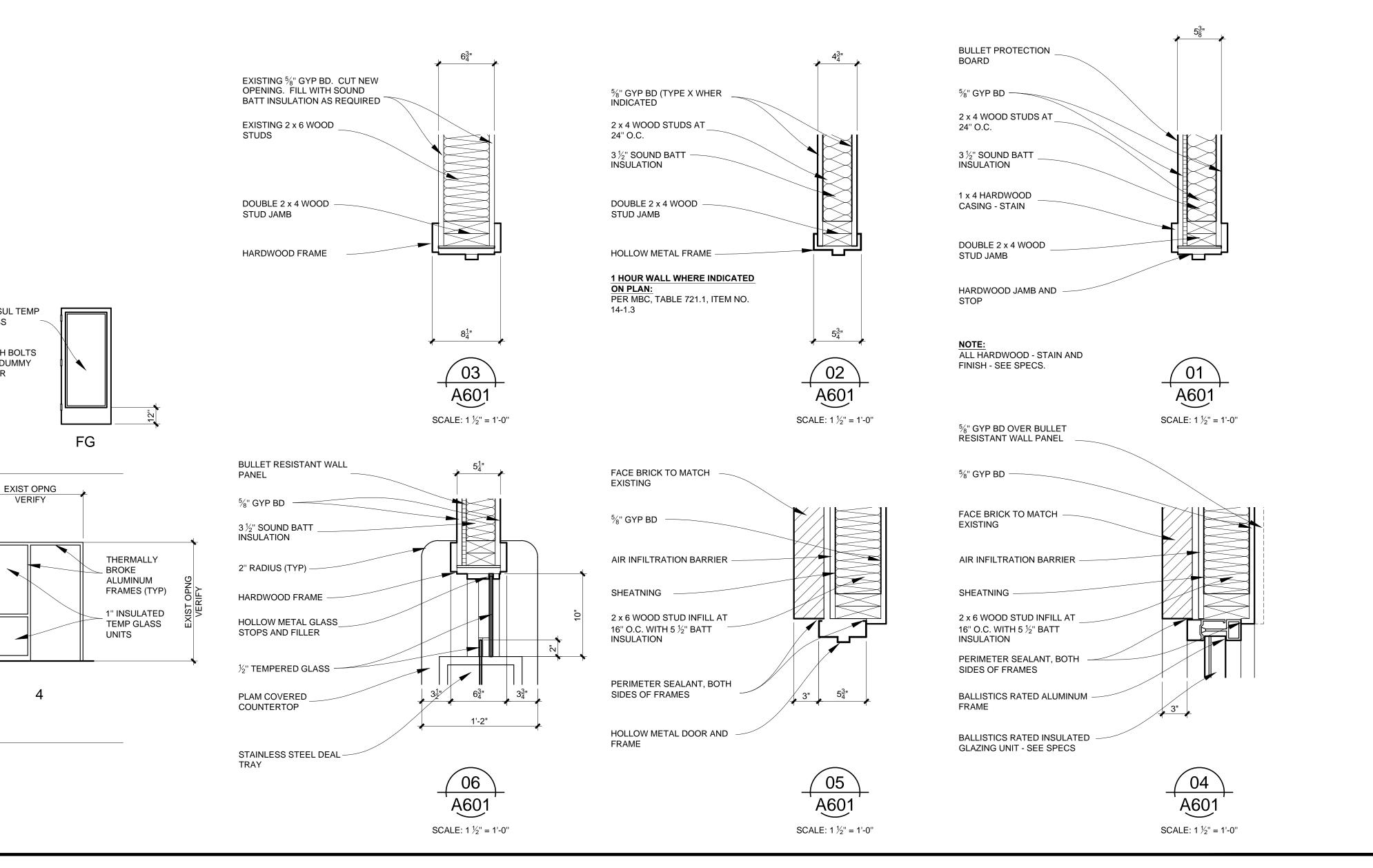
1. ALL LOWER LEVEL HARDWARE FINISH IS SATIN STAINLESS

2. ALL MAIN LEVEL HARDWARE FINISH IS POLISHED BRASS

3. RETROFIT EXISTING FRAME WITH NEW ELECTRIC STRIKE

4. REMOVE LOCKSET. INSTALL NEW PUSH PLATE TO COVER EXISTING REMOVED HARDWARE 5. REFER TO ELECTRICAL FOR LOCATION OF NEW B.F. PUSH PADS FOR DOOR OPERATOR.

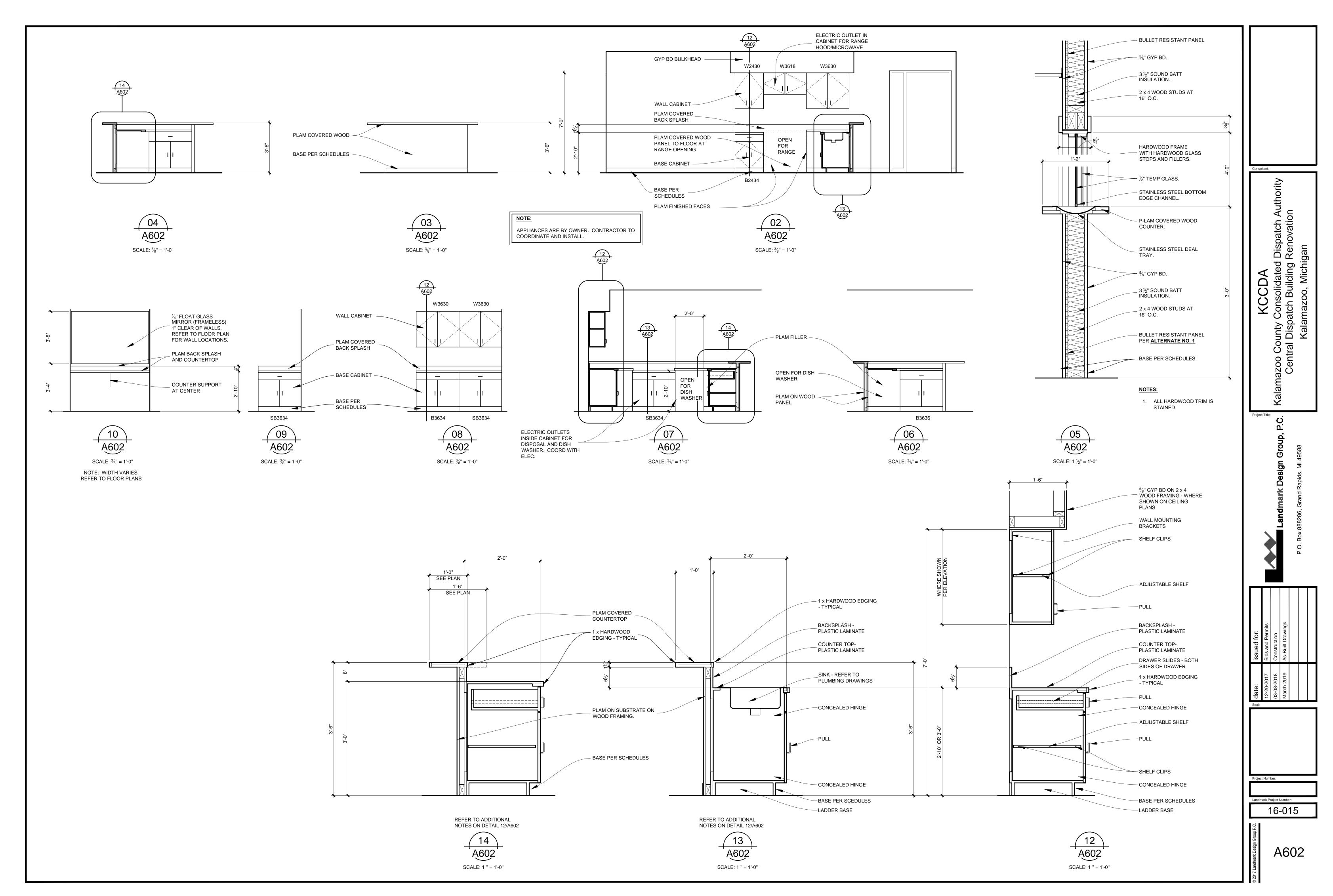
6. ADD WOOD DOOR STOPS TO EXISTING FRAME



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16-015

A601



STRUCTURAL SPECIAL INSPECTION SCHEDULE				
(2015 MBC — Chapter 17)				
ITEM	CONT. ²	PERIODIC ²	REFERENCE STANDARD	NOTES
WOOD CONSTRUCTION (1705.5) (1704.2.5 FOR PREFABRICATED CONSTRUCTION)				
Diaphragms as specified on drawings: Sheathing grade and thickness, size of framing members at panel edges, fastener diameter and length, number of fastener lines, and spacing of fasteners in each line.		X		
Review existing trusses and noted repairs.		Х	BCSI 1-13 (BY WTCA & TPI)	
At all trusses, verify that permanent truss bracing is in accordance with approved building plans & BCSI 1—13.		Х	BCSI 1-13 (BY WTCA & TPI)	

<u>NOTES</u>

- 1. Items marked with an 'X' shall be inspected in accordance with chapter 17 of the building code by a certified special inspector from an established testing agency. For material sampling and testing requirements, refer to the project specifications and the specific general notes sections. The testing agency shall send copies of all structural testing and inspection reports directly to the architect, engineer, contractor, and building official. Any items which fail to comply with the approved construction documents shall immediately be brought to the attention of the contractor for correction. If discrepancies are not corrected, they shall be brought to the attention of the building official, architect, and engineer prior to completion of that phase of the work. Special inspection testing requirements apply equally to all bidder designed components.
- 2. Continuous special inspection means the full—time observation of work requiring special inspection by an approved special inspector who is present in the area where the work is being performed. Periodic special inspection means the part—time or intermittent observation of work requiring special inspection by
- an approved special inspector who is present in the area where the work has been or is being performed and at the completion of the work. (sect 1702)

 3. Periodic special inspection is allowed for verification of the weldability of reinforcing steel other than ASTM A 706 in accordance with building code section 1705.2.2. Continuous special inspection is required for reinforcing steel resisting flexural and axial forces in intermediate and special moment frames, boundary elements of special reinforced concrete shear walls, and shear reinforcement. Periodic special inspection is allowed for welding of other ASTM A 706 reinforcing steel not included in the continuous special inspection requirements noted above.
- 4. Special inspection is not required for isolated spread footings (≤ 3 stories), non—structural slabs, foundation walls, patios, driveways and sidewalks provided the requirements of section 1705.3 are met.
- 5. Post—installed anchors into masonry or concrete may be used only when approved by architect and/or engineer using an approved product with current published ICBO research report numbers.
- Any construction or material that has failed inspection shall be subject to removal and replacement.
- 7. This table and notes represent code requirements for structural portions of the project and is not a complete representation of what may be required by chapter 17 of the building code. In addition there may be exceptions to inspection requirements in this table that apply to this job. It is the special inspection subcontractor's responsibility to align their scope of work with chapter 17 of the building code and the sequences of construction to be coordinated by the construction manager, or general contractor.

|--|

	STRUCTURAL ABB	KE VIA II	ON INDE	<u>X</u>	
AB	Anchor Bolt/Column Anchor	Rod	IF	In side Fa ce	ſ
ACIP	Aug ered Cast In Place		INT	Interior	ı
A/E	Architect/Engineer		JB	Joist Bearing Elevation	[
AESS	Architecturally Exposed		L LAT	Lintel Lateral	
AFF	Stru ctural Steel Abo ve Finished Flo or		LD	Load	
ALT	Alternate		LF	Linear Foot	
AP	Anchor Plate		LG	Long	
ARCH	Arc hitectur al		LLH	Long Leg Horizontal	
B.O.	Bottom of		LLV	Long Leg Vertical	
BB	Bond Beam		LOC'N LP	Location	
BFF	Below Finished Floor		LT	Low Point Light	(
BL BM	Brick Ledge Beam		LW	Long Way	
BP	Bearing Plate		MAX	Maximum	
BRG	Bearing		MECH	M echanic al	
BT	Bent		MCJ	Masonry Control Joint	
¢.	Centerline		MIN	Minimum	
CANT	Cantilever		NS NTS	Near Side Not To Scale	
C/C	Center-to-Center		0/0	Out-to-Out	
CBP	Column Base Plate	\A/ - 1 -I	0C	On—Center	
CJP CJ	Complete Joint Penetration Construction Joint	werd	OD	Outside Diameter	
CJ	Contraction Joint		OF	Outside Face	
CJ	Control Joint		OFD	Overflow Drain	
CLR	Clear		OH	Opposite Hand	
CMU	Concrete Masonry Unit		P PEMB	Pi er Pr e—Engi neered Metal	
COL	Column		LCIVID	Building	
CONC	Concrete Connection, Connect		PERP	P erpendi cular	
CONT	Continuous		P	Plate	
COORD	Coo <mark>rdinate</mark>		PT	Pressure Treated	
DBE	Dec k Beari ng Elevation		R, RAD	Radius	
DA DB	Deck Angle Deck Bar		RD Reference	R oof Dra in e, Refer t o	
DIA, Ø	Diameter		REINF	Reinforce	
DP.	Deck Plate		REQ'D	Required	,
DWG	Drawing(s)		RMW	Reinforced Masonry Wall	
EA	Each		RTU	Roof Top Unit	
EF	Each Face		RXN	Reaction	
EL	Elevation		SC	Slip Critical	
EQ	Equal		SF SIM	S tep Foo ting Si milar	
ES EW	Each Side Each Way		SOG	Sl ab On Grade	
EX	Existing		SPCS	Spaces	
EXP	Expansion		SS	S tainless Steel	ı
EXT	Exterior		STL	Steel	
FD	Floor Drain		SW T&B	Sh ort Wa y T op and Bottom	
FF FFE	Fini shed Fl oor Fini shed Fl oor Elevation		TC	Torque Controlled	
FDN	Foundation		TCX	Top Chord Extension	
FP	Fou ndation Pier		T.O.	Top of	
FS	Far Side		TOB	Top of Beam	
FTG, F	Footing		TOF TOL	Top of Footing	
FV GA	Field Verify		TOM	Top of Ledge Top of Masonry	
GALV	Gauge Gal vanized		TOS	Top of Steel	
GB	Grade Beam		TOW	Top of Wall	
GS	Grout Solid		TYP	Typical	
GT	Gird er Trus s		UNO	Unless Noted Otherwise	
HD HOB7	Hold Down Anchor		VERT	Vertical With	
HORZ HP	Hori zontal High Point		w/	Without	
HS	Hea ded Stu d		w/o WF	Wall Footing	
HT	Height		WP	Working Point	
ID	Inside Diameter		WWF	Welded Wire Fabric	

ROOF FRAMING PLAN NOTES

- 1. Existing Building: Verify all dimensions and conditions.
- An attempt has been made to identify problem areas. Notify A/E if /when additional problem areas are found, to allow for review of remedial measures.
 Existing trusses need web bracing and some repairs. Install per details and

BCSI 1-03 requirements. Compression members longer than 6' shall be

braced.

4. Trusses longer than 8', that are bearing on exterior walls, must have additional attachment to the wall. This will require removing insulation and crawling into the ends to add the nails or clips (see detail).

GENERAL STRUCTURAL NOTES

- 1. All work shall be performed in accordance with the contract documents. In case of a conflict within the contract documents, the more stringent condition shall govern, unless directed otherwise by the engineer of record. Prior to implementation, any discrepancies shall be reported to the architect for clarification.
- 2. In the event that certain details of construction are not indicated or noted in the drawings, details for similar conditions that are indicated or noted
- shall be utilized, subject to the structural engineer's approval.

 3. Openings and penetrations through structural elements, and items embedded in structural elements that are not indicated in the structural drawings shall be reviewed by the structural engineer prior to fabrication, erection and/or
- construction.

 4. Materials or equipment shall not be placed on unfinished floors or roofs in excess of 20 psf nor on finished floors in excess of the design live loads which are indicated in the structural drawings. Impact loading shall be
- 5. The structure has been designed for the in—service loads only. The methods, procedures and sequences of construction are the responsibility of the contractor. Contractor shall take all necessary precautions to maintain and ensure the integrity of the structure at all stages of construction. Contractor shall immediately notify the structural engineer of any condition which, in his opinion, might endanger the stability of the structure or cause
- distress in the structure.

 6. All existing conditions and all related dimensions indicated in the contract documents shall be field verified prior to fabrication, erection and/or construction. Any condition that differs from that indicated in the contract documents shall be submitted to the architect for review prior to fabrication,
- erection and/or construction.

 7. Post installed anchors shall be the specific product indicated. Where product substitutions are desired, they shall be submitted to engineer for review & approval a minimum of 2 weeks prior to planned installation. Adhesive anchors shall be installed using products that are approved by the supplier for all temperature considerations. Installation shall be in accordance with suppliers published installation instructions.

ENGINEERING DATA

Design soi	l bearing pressure	NA
Design str	resses	
Lumb	per Dimension lumber (SPF #2 or better) Engineered lumber (LVL)	Fb = 850 psi Fv = 135 psi Fb = 2600 psi Fv = 285 psi E = 1900 ksi
Structural	design requirements	
Roof	live load	20 psf
Risk	Category	II
Roof	snow load Ground snow load (Pg) Flat roof snow load (Pf) Snow exposure (Ce) Snow load importance factor (Is) Thermal factor (Ct)	30 psf 23 psf + Drift 1.0 1.0
Wind	Load Ultimate design wind speed (3 sec) Nominal design wind speed (3 sec) Wind exposure category Internal Pressure coeff (GCpi) Components & cladding (varies) Wall stud design pressure	115 mph 90 mph B 0.18 varies – per ASCE7
Earth	nquake — NA (wind governs)	
Specific D	esign Loads	

Existing Roof truss loads	
Bottom chord dead load	10 psf
Top chord dead load	7 psf
Top c hord sn ow load:	
Bal anced	23 psf balanced
Unbalanced (see Fig 7-5 of ASCE 7-10)

Design codes

codes				
General building code	Michigan	Building	Code	201
Nood	NDS	_		

NAILING SCHEDULE

ELEMENT	NAIL SIZE	NUMBER & LOCATION
STUD TO SOLE PLATE	16d	4 TOE NAIL OR 2 DIRECT NAIL
STUD TO CAP PLATE	16d	2 TOE NAIL OR 2 DIRECT NAIL
DOUBLE STUDS	10d	12" OC DIRECT
CORNER STUDS	16d	24" OC DIRECT
DOUBLE CAP PLATE	10d	16" OC DIRECT
HEADER TO TRIMMERS	16d	3 EACH END
TRUSS TO PLATE TYPICAL EXTERIOR SUPPO TYPICAL INTERIOR SUPPO HIP GIRDER AT EXTERIOR GIRDER TRUSS	RT XXX UNO	1 EACH TRUSS BRG POIN 1 EACH TRUSS BRG POIN 1 EACH TRUSS BRG POIN 1 EACH TRUSS BRG POIN
ROOF SHEATHING	8d	6" OC DIRECT EDGES AND 12" OC INTERMEDIATE
WALL SHEATHING	8d	6" OC ALL EDGES AND 12" OC INTERMEDIATE
FLOOR SHEATHING	8d	6" OC ALL EDGES AND 12" OC INTERMEDIATE

This schedule is a minimum nailing requirement. See specifications, drawings, and IBC Table 2304.9.1 for possible higher requirements.

EXISTING BUILDING SURVEY NOTE:

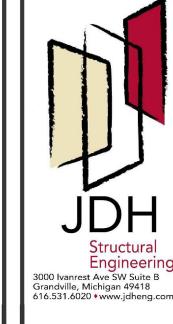
COMPLETE CONSTRUCTION DRAWINGS FOR THE EXISTING BUILDING WERE UNAVAILABLE. THEREFORE AN ATTEMPT HAS BEEN MADE TO ANTICIPATE CONDITIONS IN THE EXISTING STRUCTURE. STRUCTURAL COMPONENTS MAY OR MAY NOT HAVE BEEN EXPOSED TO VIEW DURING STRUCTURAL SURVEYS. ALL EXISTING STRUCTURAL INFORMATION, INCLUDING SIZES AND DIMENSIONS, SHALL BE FIELD VERIFIED. NOTIFY A/E IF ACTUAL CONDITIONS DIFFER FROM THE CONTRACT DOCUMENTS.

Building Design Statement

This building was built in 1993 and shows no signs of trouble, structurally. This project is a Level 2 Alteration per the 2015 Michigan Rehabilitation Code, with a Central Dispatch Center on the lower level, which is protected by the floor structure above it.

In order to provide reasonable protection for the lower level, and to finish the work done in 1993, some portions of the original construction that were not done correctly will be modified/fortified to provide reasonable Structural improvements. This includes the following:

- Provide proper bracing for roof truss compression members, including diagonal anchorage bracing required by BCSI-13 (also by HIB-93 at the time of construction).
- 2. Provide truss top chord bracing where no direct—applied roof sheathing
- 3. Provide additional shear bracing (SB) to engage interior walls in resisting lateral wind loading.
- 4. Provide edge truss uplift anchorage (where wind-uplift forces can be the greatest).



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Kalamazoo County Consolida Central Dispatch Build Kalamazoo, M

Landmark Design G

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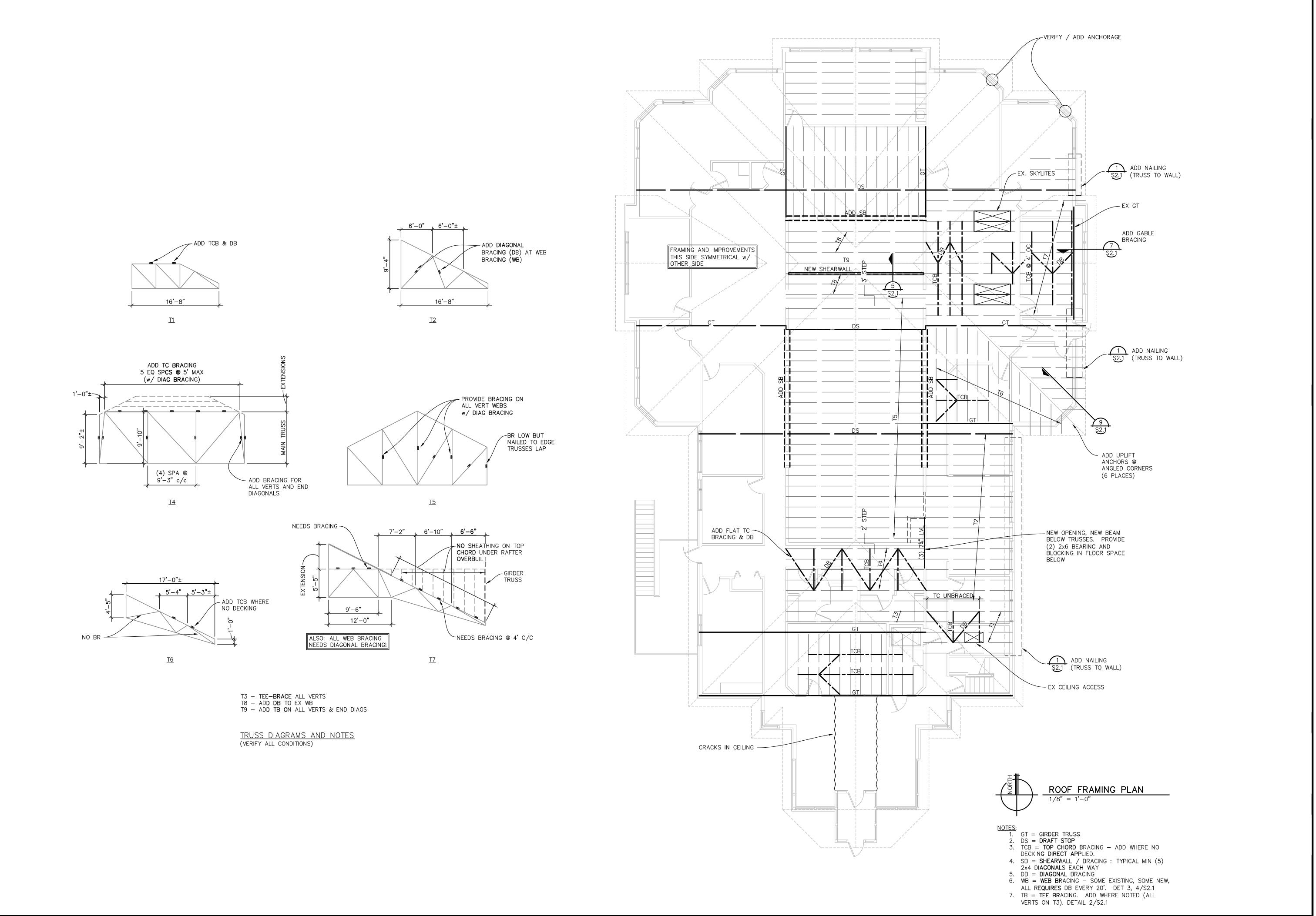
date: 12-20-201 03-08-20

Project Number:

andmark Project Number:

16-015

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KCCDA mazoo County Consolidated Dispatch Authority Central Dispatch Building Renovation Kalamazoo, Michigan

Landmark Design Group, P.C.
den Ave. S.E. Suite A, Grand Rapids, MI 49548-3406
v: (616) 956-0606

issued for:

17 Bids and Permits

17 Construction

3883 Linde

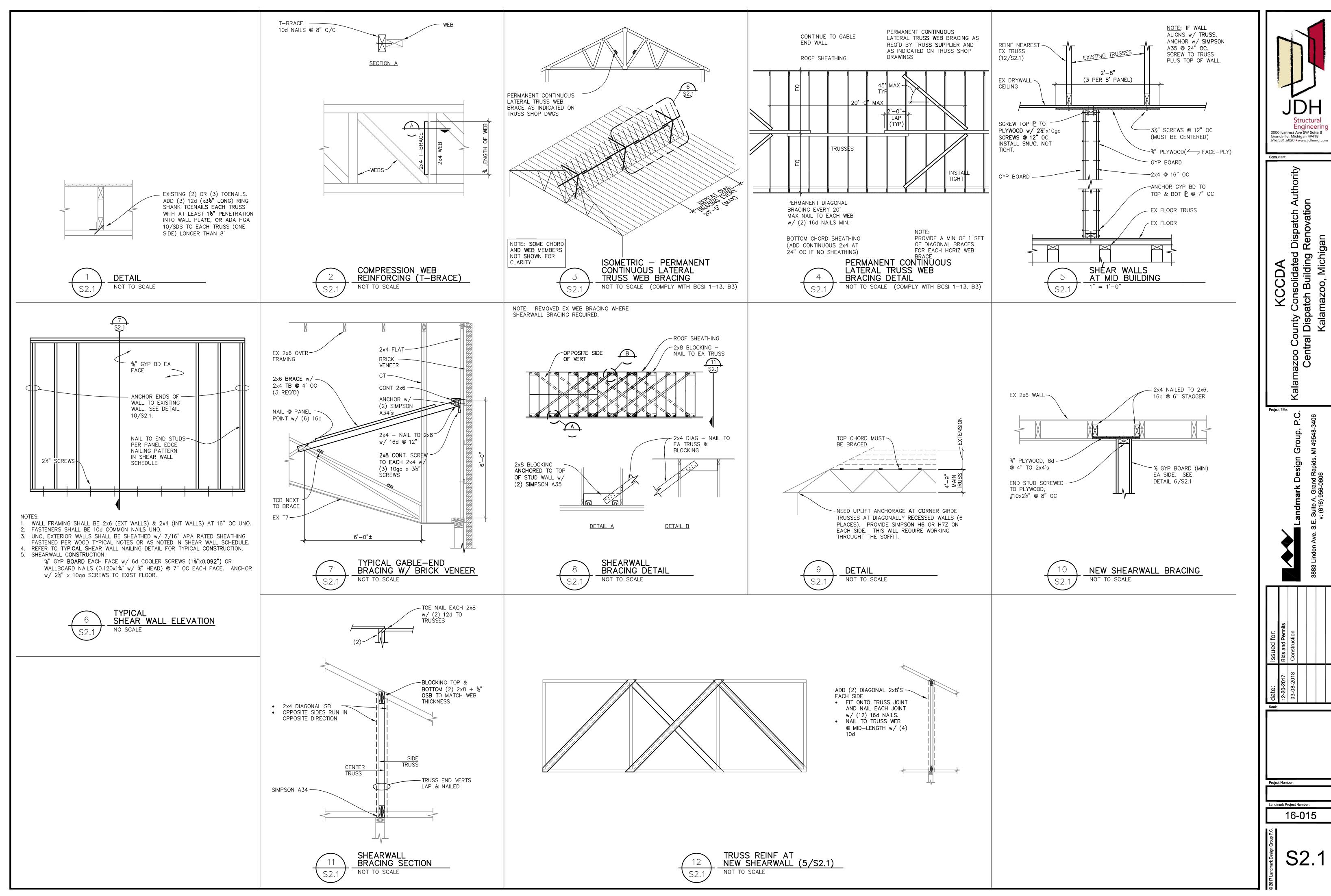
date: issued 12-20-2017 Bids and 03-08-2017 Construi

Project Number:

Landmark Project Number:

16-015

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DEMOLITION GENERAL NOTES:

- 1. INFORMATION SHOWN HERE REFLECTS EXISTING RTECORDS AND RECENT ON-SITE OBSERVATIONS. THE DEMOLITION WORK SHOWN IS INTENDED TO CONVEY THE GENERAL NATURE AND SCOPE OF WORK REQUIRED. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK NECESSARY TO PROPERLY COMPLETE THE NEW WORK SHOWN ON THESE PLANS.
- 2. PROVIDE TEMPORARY MECHANICAL AND ELECTRICAL AS NECESSARY TO MAINTAIN PROPER OPERATION OF ALL SYSTEMS
- 3. REMOVE ALL EXISTING PIPING, DUCTWORK, WIRING, ETC., THAT IS NOT REQUIRED TO SUPPORT THE PROPER OPERATION OF THE NEW SYSTEMS AND EXISTING SYSTEMS TO DEMAIN THE SERVICE.

SPECIAL PLUMBING NOTES:

1. THE DRAWINGS ARE BASED UPON RECENT SITE VISITS AND EXISTING DRAWINGS. THE CONTRACTOR SHALL, BEFORE BEGINNING ANY NEW WORK, MAKE HIS OWN DETERMINATION REGARDING THE LOCATION OF EXISTING SERVICES. THE CONTRACTOR SHALL INCLUDE IN HIS BASE BID PRICE, THE COST OF DETERMINING THE LOCATION, SIZE AND CONDITION OF UNDER FLOOR SANITARY AND WASTE PIPING BY MEANS OF VIDEO INVESTIGATION.

GENERAL PLUMBING NOTES:

- 1. ALL SYSTEMS AND INSTALLATION SHALL CONFORM TO ALL APPLICABLE CODE REQUIREMENTS. PLUMBING FOR THIS PROJECT IS GOVERNED BY THE 2015 MICHIGAN PLUMBING CODE. THE INSTALLING CONTRACTOR IS ASSUMED TO BE FAMILIAR WITH THIS CODE, AND IS HEREBY CHARGED WITH COMPLETING THE INSTALLATION OF THE SYSTEMS SHOWN HEREON IN COMPLETE COMPLIANCE WITH THIS CODE, AS WELL AS ALL OTHERS THAT MAY APPLY.
- 2. ALL DRAWINGS ARE DIAGRAMMATIC IN NATURE, AND ARE NOT INTENDED TO SHOW EVERY JOINT, FITTING, OR OFFSET THAT MAY BE REQUIRED TO PROPERLY COMPLETE THE SYSTEM. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION WITH ALL TRADES, AND PROVIDE ALL FITTINGS, OFFSETS, AND RE-ROUTING AS MAY BE REQUIRED.
- 3. THE COMPLETED INSTALLATION SHALL RESULT IN COMPLETE, PROPERLY OPERATING SYSTEMS.
- 4. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS AS A PART OF HIS BASE BID FOR THE PROJECT. THIS SHALL INCLUDE ALL REVIEW FEES THAT MAY BE CHARGED IN ORDER TO OBTAIN A PERMIT FOR CONSTRUCTION.
- 5. UNLESS OTHERWISE NOTED, ALL HORIZONTAL PORTIONS OF SYSTEMS SHOWN ARE INTENDED TO BE CONCEALED ABOVE CEILINGS. REFER TO THE ARCHITECTURAL DRAWINGS FOR THE LOCATION OF THE BUILDING INSULATION. IN ALL CASES, THE WATER PIPING SHALL BE INSTALLED SO THE BUILDING INSULATION IS BETWEEN THE PIPING AND THE OUTSIDE. VERTICAL PORTIONS ARE INTENDED TO BE CONCEALED INSIDE WALLS OR CHASES.
- 6. PROVIDE ROUGH-IN AND CONNECTION TO ALL FIXTURES AND EQUIPMENT. THE CONTRACTOR SHALL, BEFORE ROUGH-IN, CONFIRM THE DETAILED REQUIREMENTS OF EACH ITEM OF EQUIPMENT BEING PROVIDED.
- 7. PENETRATIONS THROUGH FIRE AND/OR SMOKE BARRIERS SHALL BE SEALED TO MAINTAIN THE RATING OF THE BARRIER.
- 8. ALL DOMESTIC WATER PIPING ABOVE FLOOR TO BE TYPE "L" HARD COPPER WITH WROUGHT FITTINGS, AND 95 / 5 TIN ANITIMONEY SOLDER. PROVIDE ½" THICK ARMACELL, OR EQUAL, INSULATION FOR ALL NEW HOT AND COLD WATER PIPING.
- 9. SANITARY, WASTE AND VENT PIPING MATERIALS SHALL BE PVC WITH SOLVENT WELDED JOINTS AND SHALL CONFORM TO THE REQUIREMENTS OF THE PLUMBING CODE.
- 10. PROVIDE RPZ BACKFLOW PREVENTION AT ALL LOCATIONS REQUIRED BY AUTHORITY HAVING JURISDICTION.
- 11. COORDINATE WORK WITH ALL OTHER TRADES BEFORE INSTALLATION TO ELIMINATE CONFLICTS.
- 12. EXISTING PIPING IS SHOWN BASED UPON INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF DESIGN, CONFIRM ALL LOCATIONS BEFORE BEGINNING ANY WORK.
- 13. CONFIRM ALL EXISTING INVERT ELEVATIONS AND ADJUST NEW PIPING LAYOUT AS NECESSARY TO MAKE CODE REQUIRED SLOPES.
- 14. PROVIDE RPZ BACKFLOW PREVENTION AT CONNECTION TO ALL EQUIPMENT THAT MAY PRESENT A HAZARD TO THE POTABLE WATER SYSTEM AND AS MAY BE REQUIRED BY CODE.
- 15. PROVIDE DOCUMENTATION SHOWING PROPER COMPLETION OF ALL REQUIRED SYSTEM TESTS.
 THIS DOCUMENTATION SHALL BE SATISFACTORY TO THE AHJ.
- 16. REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILED REQUIREMENTS.

PLUMBING FIXTURE SCHEDULE:

- L-1H

 KOHLER PENNINGTON MODEL # K-2196, ADA COMPLIANT, DROP-IN COUNTER TOP LAVATORY,
 19x16 OVAL, WHITE VITREOUS CHINA. CHROME PLATED ACCESSORIES: FIXED GRATE STRAINER,
 TALIPIECES, P-TRAP, COMMERCIAL GRADE ANGLE SUPPLY STOPS, RIGID SUPPLIES, ALL CHROME
 PLATED BRASS. FAUCET TO BE DELTA LAHARA MODEL # 2528-MPV-DST. TWO LEVER CENTER SET
 WITH HIGH RISE SPOUT, CHROME PLATED BRASS, PROVIDE ADA REQUIRED TEMPERING VALVE
 AND UNDER LAVATORY PIPING PROTECTION.
- S-1H

 EKLAY MODEL # LR1720, 17 x 20 x 6 ½" DEEP, ADA COMPLIANT, TYPE 304SS, DROP IN, 3 ½" DRAIN

 OPENING WITH DUO BASKET STRAINER, LKB721C, ELECTRONIC, DECK MOUNT, GOOSENECK

 SPOUT, BATTERY OPERATED, AUTOMATIC TEMPERING VALVE TO LIMIT DISCHARGE

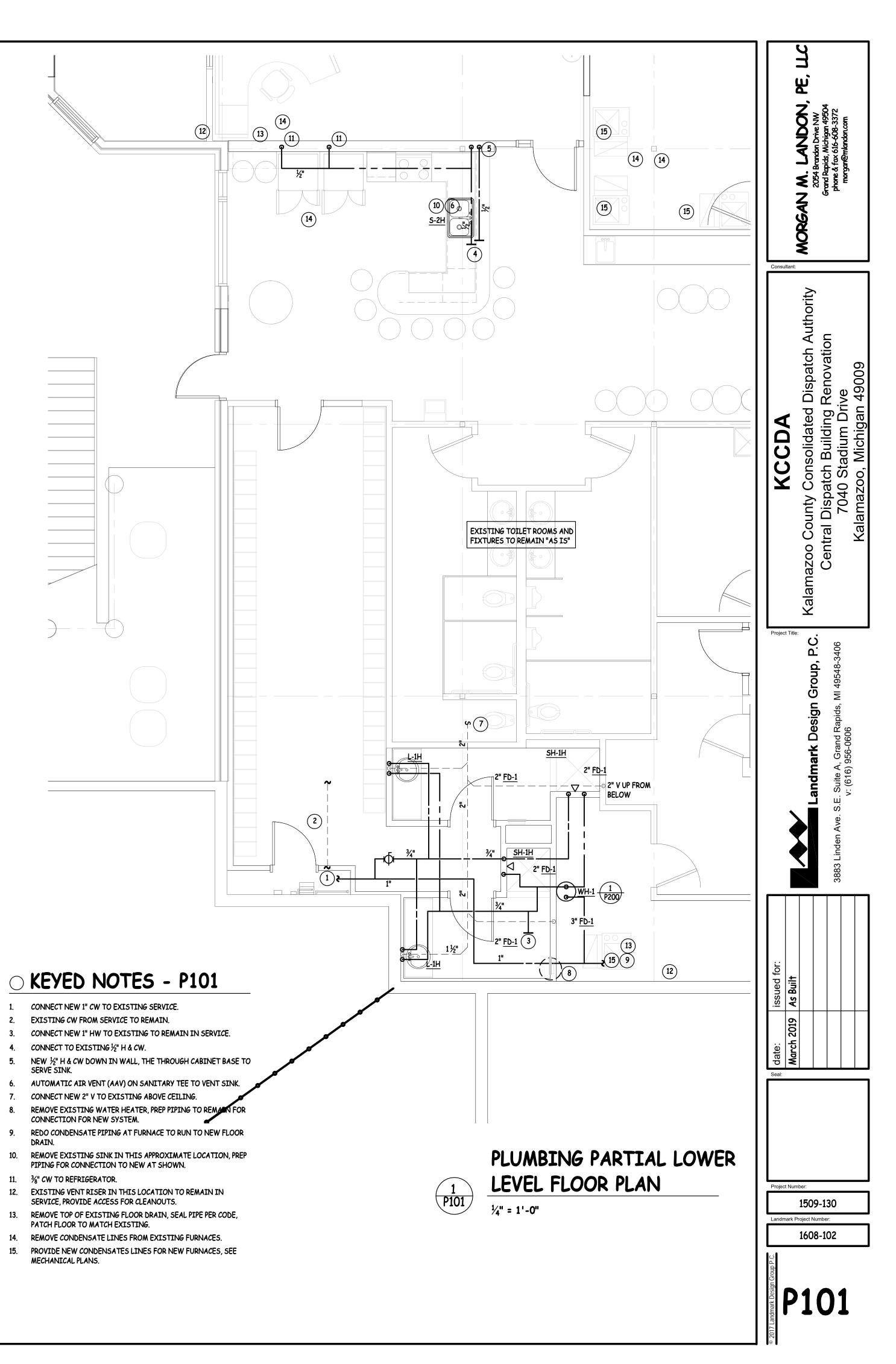
 TEMPERATURE TO 105° F,½ HP BADGER GARBAGE DISPOLAL. PROVIDE WASTE AND HOT WATER

 CONNECTIONS FOR ADJACENT DISHWASHER.
- S-2H

 ELKAY MODEL # DLR252210, 25 x 22 x 6½" DEEP, ADA COMPLIANT, 18 GA, TYPE 304SS, DROP-IN, 3
 ½" DRAIN OPENING WITH DUO BASKET STRAINER, HIGH RISE SWING SPOUT WITH LEVER
 HANDLE OPERATORS, PROVIDE AUTOMATIC TEMPERING VALVE TO LIMIT DISCHARGE
 TEMPERATURE TO 105° F.
- SYMMONS LUCETTA #4605 SHOWER SYSTEM FOR BARRIER FREE COMPLIANT
 INSTALLATION, TEMAROL PRESSURE BALANCING MIXING VALVE, INTEGRAL PUSH-BUTTON
 DIVERTER, WALL/HAND SHOWER WITH 5-FOOT FLEXIBLE METAL HOSE WITH IN-LINE VACCUM
 BREAKER, 6" RAIN SHOWER HEAD WITH MOUNTING ARM, 25 GPM, ALL METAL CONSTRUCTION
 WITH CHROME PLATING, ADD APPURTENANCES AS NECESSARY TO MEET ALL CODE
 REQUIREMENTS.
- FD-1

 ASME A112_21.1: LACQUERED CAST IRON TWO PIECE BODY WITH DOUBLE DRAINAGE FLANGE,
 WEEP HOLES, REVERSIBLE CLAMPING COLLAR, AND 6 INCH DIAMETER, ROUND, ADJUSTABLE
 NICKEL-BRONZE STRAINER PROVIDE TRAP PRIMER CONNECTION AT ALL LOCATIONS SHOWN
- ON PLANS, AND AS MAY BE REQUIRED BY CODE, WHETHER SPECIFICALLY SHOWN, OR NOT.

 NOTE REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



NO SCALE

ELECTRIC WATER HEATER

PIPING AND CONNECTIONS

	PLUM	BING	FIXT	URE (CONNECTIONS
FIXTURE	w	V	HW	cw	REMARKS
wc	4"	2"		1/2"	
UR	1 1/2"	11/4"		3/4"	
LAV	11/4"	11/4"	1/2"	1/2"	
SINK	1 1/2"	11/4"	1/2"	1/2"	
EWC	11/4"	11/4"		1/2"	
SS	3"	1 1/2"	1/2"	1/2"	

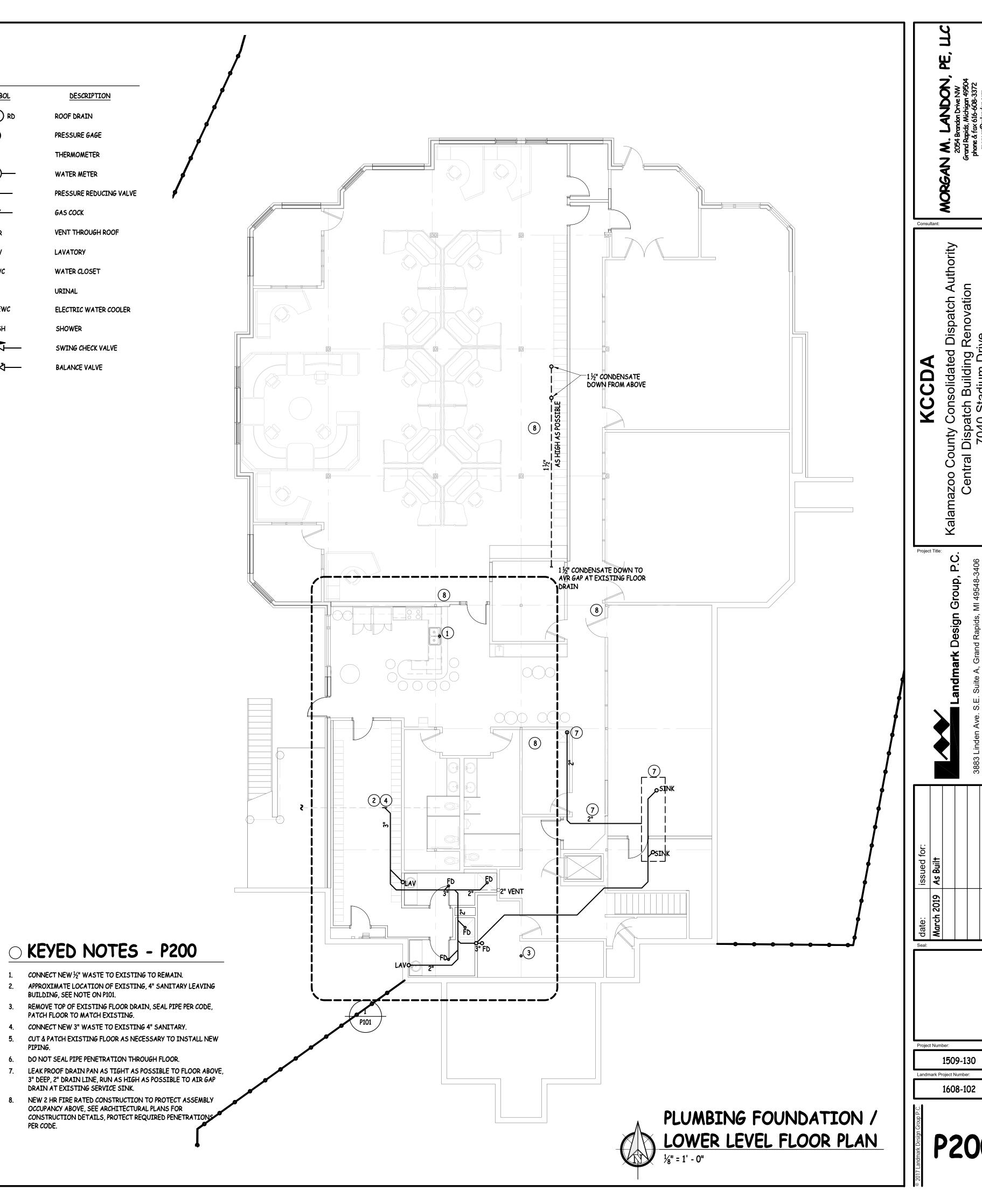
ROUGH-IN TO EACH FIXTURE SHALL BE AS INDICATED ABOVE UNLESS SPECIFICALLY NOTED TO THE CONTRARY.

PLUMBING SYMBOLS:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SOIL OR WASTE PIPE	RD	ROOF DRAIN
	VENT PIPE (V)	\oslash	PRESSURE GAGE
	COLD WATER (CW)	ή	THERMOMETER
	HOT WATER (HW)	<u> </u>	WATER METER
	HOT WATER RETURN (HWR)	—	PRESSURE REDUCING VALVE
— т —	TEMPERED HOT WATER LINE (THW)	─ ▽─	GAS COCK
G	NATURAL GAS PIPE	VTR	VENT THROUGH ROOF
ST	STORM DRAIN PIPE	LAV	LAVATORY
O FD	FLOOR DRAIN	wc	WATER CLOSET
O co	CLEAN-OUT(FLOOR)	UR	URINAL
—— ı wco	CLEAN-OUT(WALL)	EWC	ELECTRIC WATER COOLER
WH	WATER HEATER	SH	SHOWER
—ф —	BALL VALVE	─ ₹	SWING CHECK VALVE
─ ⋈─	GATE VALVE	── >>	BALANCE VALVE
	UNION		
NEW EXIST	CONNECT T EXISTING AT THIS LOCATION		

PATCH FLOOR TO MATCH EXISTING.

6. DO NOT SEAL PIPE PENETRATION THROUGH FLOOR.



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MECHANICAL EQUIPMENT LIST TRANE MODEL TUH, OR EQUAL, 95% EFFICIENT, NATURAL GAS FIRED, 2' MERV 8 FILTERS, BY-PASS HUMIDIFIER, WITH DRAIN LINE. MATCHING TRANE MODEL 4PX, OR EQUAL, CASED COOLING COIL, RUN CONDENSATE TO NEAREST FLOOR DRAIN. WHERE INSTALLED ON MAIN LEVEL PROVIDE OVERFLOW DRAIN PAN WITH SAFETY SWITCH. PROVIDE PVC EXHAUST AND COMBUSTION AIR PER MANUFACTURERS REQUIREMENTS, EXISTING MAY BE REUSED WHERE AVAILABLE IF MEETING NEW FURNACE REQUIREMENTS. FAN TO RUN CONTINUOUSLY DURING OCCUPIED HOURS, PROVIDE MOTORIZED DAMPER ON OUTSIDE AIR INLET DUCT, OPEN WHEN SERVES MAIN LEVEL ENTRY AREA, NOMINAL 2 ½ TON COOLING, 60 MBH HEATING, 1000 CFM, 1/2 HP BLOWER MOTOR, 120V/1Ø. SERVES LOWER LEVEL CORE AREA, TWINNED UNITS. BASE BID IS TO LEAVE THIS UNIT "AS IS", PROVIDE WITH ALTERNATE PRICE TO REPLACE WITH NEW UNIT. EACH UNIT TO BE NOMINAL 5-TON COOLING, 80 MBH HEATING, 1980 CFM, 3/4 HP BLOWER MOTOR, 120V/1Ø. SAME AS F-104A. SERVES EAST EXTERIOR EXPOSURE OF MAIN LEVEL. NOMINAL 4-TON COOLING, 100 MBH HEATING, 1400 CFM, 3/4 HP BLOWER MOTOR, 120V/1Ø. SERVES WEST EXTERIOR EXPOSURE OF MAIN LEVEL. NOMINAL 5-TON COOLING, 120 MBH HEATING, 1980 CFM, 3/4 HP BLOWER MOTOR, 120V/1Ø. SERVES WEST EXTERIOR EXPOSURE OF LOWER LEVEL. BASE BID IS TO RELOCATE THE EXISTING UNIT FROM ITS CURRENT LOCATION, TO THE NEW LOCATION SHOWN ON PLAN. EXTEND REFRIGERANT PIPING FROM EXISTING CONDENSING UNIT. PROVIDE AN ALTERNATE PRICE TO PROVIDE AND INSTALL A NEW UNIT. NOMINAL 2½-TON COOLING, 60 MBH HEATING, 1000 CFM, ½ HP BLOWER MOTOR, 120V/1Ø. SERVES NEW TRAINING 204, NOMINAL 5-TON COOLING, 80 MBH HEATING, 1980 CFM, 3/4 HP BLOWER MOTOR, 120V/1Ø. SERVES INTERIOR AREAS OF THE MAIN LEVEL, SAME AS F-205A. SERVES LOWER LEVEL MULTI PURPOSE ROOM, BASE BID IS TO RELOCATE THE EXISTING UPFLOW FURNACE TO THE NEW MAIN LEVEL MECHANICAL ROOM, EXTEND THE REFRIGERANT PIPING FROM THE EXISTING CONDENSING UNIT, MOUNT IN OVERFLOW DRAIN PAN WITH EMERGENCY SHUT-OFF, ARRANGE EQUIPMENT IN ROOM TO ALLOW SUPPLY AND RETURN TO RUN DOWN THROUGH THE FLOOR AND CONNECT TO THE EXISTING DUCTWORK AS SHOWN ON PLAN. PROVIDE AN ALTERNATE PRICE TO PROVIDE A NEW COUNTER FLOW UNIT, CONDENSATE OVERFLOW PROTECTION WITHIN UNIT, NOMINAL 3 ½ -TON COOLING, 60 MBH HEATING, 1400 CFM, 3/4 HP BLOWER MOTOR, 120V/1Ø. SERVES LOWER LEVEL TRAINING ROOM, SAME AS F-205C SERVES UPPER LEVEL NORTH EXTERIOR EXPOSURE, SAME AS F-205C, NOMINAL 4-TON COOLING, 80 MBH HEATING, 1600 CFM, 3/4 HP BLOWER MOTOR, 120V/1Ø. TRANE MODEL 4T, OR EQUAL, 13 SEER, R-410A, LEVEL, 3" HIGH PLASTIC EQUIPMENT PAD, REFRIGERANT PIPING SIZE & ROUTE TO CONFIRM TO MANUFACTURER'S REQUIREMENTS, EXISTING PIPING MAY BE REUSED IF NOMINAL 2½-TON COOLING CAPACITY, 208V/1Ø, 15 MCA, 25 MOCP. CU-104A NOMINAL 5-TON COOLING CAPACITY, 208V/3Ø, 23 MCA, 40A MOCP. CU-104B SAME AS CU-104A. NOMINAL 4-TON COOLING CAPACITY, 208V/3Ø, 16 MCA, 25A MOCP. NOMINAL 5-TON COOLING CAPACITY, 208V/3Ø, 23 MCA, 40A MOCP. NOMINAL 2½-TON COOLING CAPACITY, 208V/1Ø, 15 MCA, 25A MOCP. CU-205A CU-205B SAME AS <u>CU-104D</u>. CU-205C NOMINAL 3 ½-TON COOLING CAPACITY, 208V/3Ø, 13 MCA, 20A MOCP. <u>CU-205D</u> SAME AS CU-205C. CU-205E NOMINAL 4-TON COOLING CAPACITY, 208V/3Ø, 15 MCA, 25A MOCP. MINI-SPLIT SYSTEM SERVING DISPATCH EQUIPMENT ROOM 106, SANYO, OR EQUAL, NOMINAL 42 MBH COOLING CAPACITY. INSIDE UNIT: WALL MOUNTED FAN COIL, 208V/1Ø, PROVIDE WALL MOUNTED CLIP FOR REMOTE CONTROL DEVICE, OUTSIDE UNIT: AIR COOLED CONDENSING UNIT, MOUNT ON LEVEL, 3" HIGH, PLASTIC EQUIPMENT PAD, CONTINUOUS OPERATION AT ANY TEMPERATURE, CRANKCASE HEATER, R-410A, REFRIGERANT PIPING SIZE & ROUTE TO CONFORM TO MANUFACTURER'S REQUIREMENTS, 208V/1Ø, 25 MCA, 40A MOCP, SEPARATE DISCONNECT AT EACH UNIT. REDUNDANT EQUIPMENT, SAME AS MSS-1. BROAN, OR EQUAL, CEILING CABINET FAN, 200 CFM, 120V/10, SUPPORT FROM STRUCTURE WITH VIBRATION ISOLATORS. BROAN, OR EQUAL, ULTRA-QUIET, CEILING EXHAUST FAN, 100 CFM, 6"Ø DISCHARGE WITH BACKDRAFT DAMPER, 120V/10, SWITCH WITH LIGHTS **SAME AS EF-110.** <u>EF-115</u> SAME AS <u>EF-110</u>, 200 CFM, 8Ø DISCHARGE. QMARK, OR EQUAL, ELECTRIC WALL HEATER, MODEL AWH, 1,500 W, 120V/10, INTEGRAL THERMOSTAT, FINISH TO BE SELECTED BY ARCHITECT.

DEMOLITION NOTES

ALUMINUM GRID CORE, CLEAR ANODIZED.

1. INFORMATION SHOWN HERE REFLECTS EXISTING RTECORDS AND RECENT ON-SITE OBSERVATIONS. THE DEMOLITION WORK SHOWN IS INTENDED TO CONVEY THE GENERAL NATURE AND SCOPE OF WORK REQUIRED. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK NECESSARY TO PROPERLY COMPLETE THE NEW WORK SHOWN ON THESE

OUTSIDE AIR INTAKE HOOD, 20x60 THROAT, LOUVERED PENTHOUSE TYPE,

OUTSIDE AIR INTAKE LOUVER, EXTRUDED ALUMINUM, ANODIZED CUSTOM COLOR TO BE SELECTED, BOX FRAME, 4" DEEP, WEATHERPROOF, DRAINABLE

(4) HIGH, ALUMINUM, BIRDSCREEN ON INSIDE FACE, CURB SLOPE TO

MATCH ROOF MAINTAIN 18" CLEAR TO INTAKE ON HIGH SIDE OF ROOF

BLADES, 24" DEEP INSULATED PLENUM, FULL SIZE OF LOUVER INSIDE

TUTTLE & BAILEY, OR EQUAL, 24x24, LAY-IN, SUPPLY AIR DIFFUSER,

HONEYWELL TH-8110, 7-DAY PROGRAMMABLE ELECTRONIC.

3-CONE DESIGN, ADJUSTABLE VANES, STEEL, OFF-WHITE.

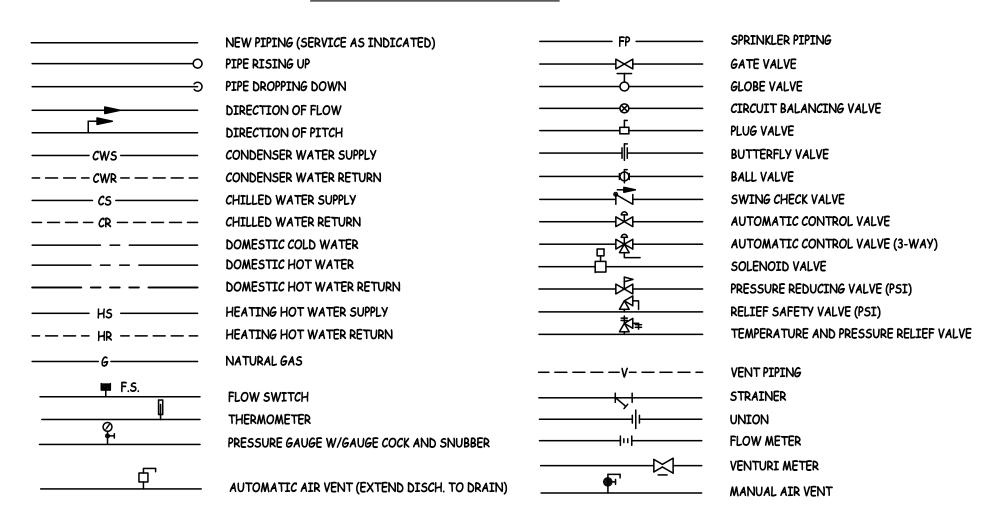
BUILDING, CAULK SPACE BETWEEN LOUVER AND BRICK, COLOR OF CAULK TO BE SELECTED, $\frac{1}{2}$ " $\times \frac{1}{2}$ " BIRD SCREEN ON INSIDE FACE OF LOUVER.

TUTTLE & BAILEY, OR EQUAL, 24x24, LAY-IN, RETURN AIR GRILLE, ½" x½"

2. PROVIDE TEMPORARY MECHANICAL AND ELECTRICAL AS NECESSARY TO MAINTAIN PROPER

OPERATION OF ALL SYSTEMS. REMOVE ALL EXISTING PIPING, DUCTWORK, WIRING, ETC., THAT IS NOT REQUIRED TO SUPPORT THE PROPER OPERATION OF THE NEW SYSTEMS AND EXISTING SYSTEMS TO

PIPING SYMBOLS



ABBREVIATIONS

AC	AIR CONDITIONING	ESP	EXTERNAL STATIC PRESSURE	NC	NORMALLY CLOSED
AD	ACCESS DOOR	ET	EXPANSION TANK	NO	NORMALLY OPEN
AFF	ABOVE FINISHED FLOOR	EWT	ENTERING WATER TEMPERATURE	NIC	NOT IN CONTRACT
AHU	AIR HANDLING UNIT	EWC	ELECTRIC WATER COOLER	OA	OUTSIDE AIR
AL	ACOUSTICAL LINING	FA	FREE AREA	OAI	OUTSIDE AIR INTAKE
AP	ACCESS PANEL	F <i>C</i>	FAN COIL UNIT	OAT	OUTSIDE AIR TEMPERATURE
EBB	ELECTRIC BASEBOARD RADIATION	FD	FIRE DAMPER	oc	ON CENTER
В	BOILER	FLR	FLOOR	OD	OUTSIDE DIAMETER
BDD	BACK DRAFT DAMPER	FOB	FLAT ON BOTTOM		
BF <i>C</i>	BELOW FINISHED CEILING	FOT	FLAT ON TOP	PRV	PRESSURE REDUCING VALVE
ВОВ	BOTTOM OF BEAM	FP	FIRE PUMP	PTAC	PACKAGED TERMINAL AIR CONDITIONER
BOD	BOTTOM OF DUCT	FPM	FEET PER MINUTE	RA	RETURN AIR
ВОР	BOTTOM OF PIPE	FT	FINNED TUBE	RHC	REHEAT COIL
СН	CHILLER	GC	GENERAL CONTRACTOR	RF	RETURN FAN
CD	CEILING DIFFUSER	GPH	GALLONS PER HOUR	SA	SUPPLY AIR
CFM	CUBIC FEET PER MINUTE	GPM	GALLONS PER MINUTE	SD	SMOKE DAMPER
CR	CHILLED WATER RETURN	HP	HEAT PUMP	SEF	SMOKE EXHAUST FAN
C5	CHILLED WATER SUPPLY	HR	HEATING HOT WATER RETURN	SF	SUPPLY FAN
co	CLEAN OUT	HS	HEATING HOT WATER SUPPLY	SP	STATIC PRESSURE
CWR	CONDENSER WATER RETURN			TG	TRANSFER GRILLE
CWS	CONDENSER WATER SUPPLY	HX	HEAT EXCHANGER	ТУР	TYPICAL
ст	COOLING TOWER	HZ	HERTZ TAISTE DE AMETER	UH	UNIT HEATER
CU	CONDENSING UNIT	ID	INSIDE DIAMETER	UON	UNLESS OTHERWISE NOTED
CUH	CABINET UNIT HEATER	LAT	LEAVING AIR TEMPERATURE	VAV	VARIABLE AIR VOLUME UNIT
DB	DRY BULB	LWT	LEAVING WATER TEMPERATURE	VD	VOLUME DAMPER
		LD	LINEAR DIFFUSER	VTR	VENT THRU ROOF
DS EAT	DUCT SILENCER ENTERING AIR TEMPERATURE	LF	LINEAR FEET	WB	WET BULB
		MC	MECHANICAL CONTRACTOR	WMS	WIRE MESH SCREEN
EC	ELECTRICAL CONTRACTOR	MTD	MOUNTED	******	WAVE MEDIT CONCELA
ECS	EVAPORATIVE COOLER SUPPLY	WOD	MOTOR OPERATED DAMPER		
ECR	EVAPORATIVE COOLER RETURN	MUA	MAKE-UP AIR UNIT		

EQUIPMENT ABBREVIATIONS

EXHAUST FAN

EXHAUST FAN

EXPANSION JOINT

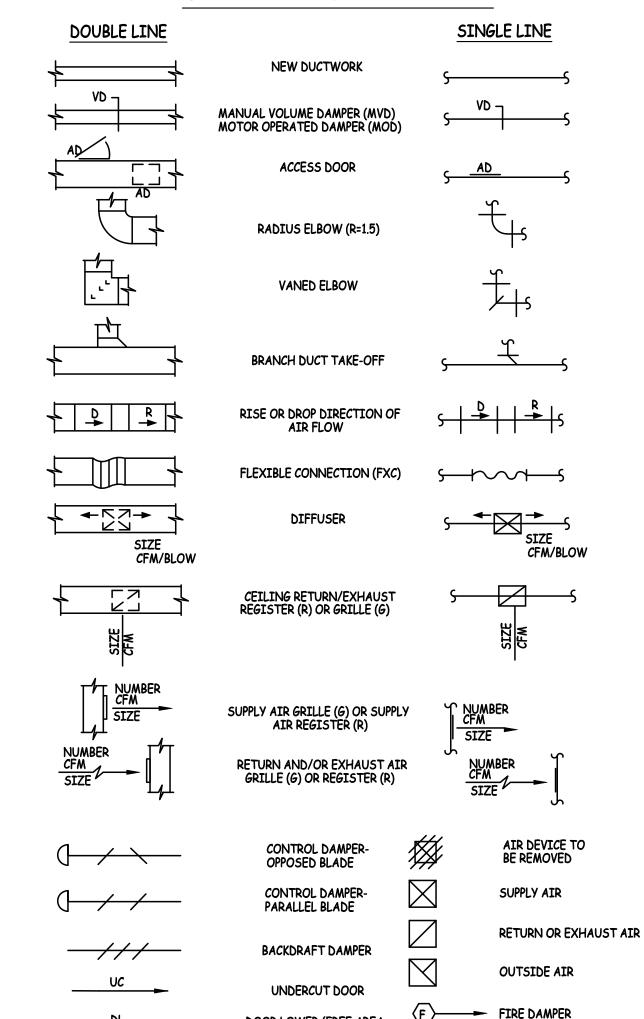
EXHAUST REGISTER

AB	AIR BLENDER	ERC	ENERGY RECLAIM COIL	PRV	PRESSURE REDUCING VALVE
AC	AIR CONDITIONING UNIT	ET	EXPANSION TANK	PS	PRESSURE SWITCH
AFM	TERMINAL AIR FILTER MODULE	EUH	ELECTRIC UNIT HEATER	R	REFRIGERATION
AHU	AIR HANDLING UNIT	F	FILTER	RAF	RETURN AIR FAN
AM	AIR MEASURING DEVICE	FC	FAN COIL UNIT	RAH	RADIANT HEATER
AWS	AUTO WATER STRAINER	FM	FLOW METER	RD	RUPTURE DISC
В	BOILER	FT	FLASH TANK	RF	RELIEF AIR FAN
BFS	BOILER FEED SET	Н	HUMIDIFIER	RH	REHEAT COIL
СС	COOLING COIL	HC	HEATING COIL	RV	RELIEF VALVE
CF	CHEMICAL FEED UNIT	HE	HEAT EXCHANGER	RCF	RECIRCULATION AIR FAN
CT	COOLING TOWER	HP	HEAT PUMP	SF	SUPPLY FAN
CTF	COOLING TOWER FILTER	HRU	HEAT RECOVERY UNIT	SRV	SAFETY RELIEF VALVE
CU	CONDENSING UNIT	HWC	HOT WATER CONVERTOR	ST	STORAGE TANK
CUH	CABINET UNIT HEATER	IRH	INFRARED HEATER	STP	SOUND TRAP
CV	AUTOMATIC CONTROL VALVE	LFM	LAMINAR FLOW MODULE	TU	TERMINAL AIR UNIT
D	AUTOMATIC DAMPER	MB	MIXING BOX	TAF	TERMINAL AIR FILTER
DCR	DRY COOLER	OAI	OUTSIDE AIR INTAKE	TF	TRANSFER FAN
DC	DUST COLLECTOR	Р	PUMP	UH	UNIT HEATER
EBR	ELECTRIC BASEBOARD RADIATION	PH	PREHEAT COIL	WF	WATER FILTER
EDH	ELECTRIC DUCT HEATER	PHE	PENTHOUSE	WS	WATER SOFTENER

GENERAL NOTES

- ALL SYSTEMS AND INSTALLATION SHALL CONFORM TO ALL APPLICABLE CODE REQUIREMENTS. MECHANICAL WORK FOR THIS PROJECT IS GOVERNED BY THE 2015 MICHIGAN MECHANICAL CODE. THE INSTALLING CONTRACTOR IS ASSUMED TO BE FAMILIAR WITH THIS CODE, AND IS HEREBY CHARGED WITH COMPLETING THE INSTALLATION OF THE SYSTEMS SHOWN HEREON IN COMPLETE COMPLIANCE WITH THIS CODE, AS WELL AS ALL OTHERS THAT MAY APPLY.
- ALL DRAWINGS ARE DIAGRAMMATIC IN NATURE, AND ARE NOT INTENDED TO SHOW EVERY JOINT, FITTING, OR OFFSET THAT MAY BE REQUIRED TO PROPERLY COMPLETE THE SYSTEM. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION WITH ALL TRADES, AND PROVIDE ALL FITTINGS, OFFSETS, AND RE-ROUTING AS MAY BE REQUIRED.
- 3. WHERE DUCTWORK FOR THIS PROJECT IS EXPOSED TO VIEW THE CONTRACTOR SHALL COORDINATE THE INSTALLATION TO PROVIDE THE BEST APPEARANCE POSSIBLE.
- 4. THE COMPLETED INSTALLATION SHALL RESULT IN COMPLETE, PROPERLY OPERATING
- 5. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS AS A PART OF HIS BASE BID FOR THE PROJECT.
- UNLESS OTHERWISE NOTED, ALL HORIZONTAL PORTIONS OF SYSTEMS SHOWN ARE INTENDED TO BE CONCEALED ABOVE CEILINGS. VERTICAL PORTIONS ARE INTENDED TO BE CONCEALED INSIDE WALLS OR CHASES. SEE ARCHITECTURAL PLANS FOR CEILING TYPES
- 7. PROVIDE ROUGH-IN AND CONNECTION TO ALL FIXTURES AND EQUIPMENT.
- 8. ALL DUCTWORK SHALL BE SHEET METAL. DUCT CONSTRUCTION SHALL CONFORM TO SMACNA STANDARDS, DUCT SIZES SHOWN ON PLAN ARE CLEAR, INSIDE.
- SUPPLY DUCTS ABOVE CEILINGS SHALL BE INSULATED WITH 1½" FLEXIBLE FIBERGLASS BLANKET. REFER TO THE ARCHITECTURAL PLANS FOR THE LOCATION OF THE BUILDING INSULATION. IN ALL CASES, THE BUILDING INSULATION SHALL BE BETWEEN THE DUCTS AND THE OUTSIDE.
- 10. NATURAL GAS PIPING SHALL BE STEEL. INSTALLATION SHALL CONFORM TO THE 2012 MICHIGAN FUEL GAS CODE. NEW GAS PIPING SHALL BE PAINTED BRIGHT YELLOW. TYPE OF PAINT SHALL BE APPROPRIATE FOR INTERIOR OR EXTERIOR BASED ON THE LOCATION OF

DUCTWORK SYMBOLS



DOOR LOWER (FREE AREA REQUIRED INDICATED IN

SQUARE FEET)

SMOKE DETECTOR

Project Number: 1509-130 1608-102

TYPE	DESCRIPTION	CATALOG NUMBER	LAMPS	REMARKS
Α	2x2 LAY-IN	LITHONIA 2BLT2 33L ADP LP840	30W LED	
В	UNDER CABINET	LITHONIA UCLD 24IN 40K SWR WH	13W LED	
С	4"Ø PENDANT	LITHONIA LDN4CYL 40/10 LO4 AR LSS EZ10	13W LED	
D	6"Ø RECESSED CAN	LITHONIA LDN6 40/10 LO6 AR LSS	13W LED	
Е	2x2 LAY-IN	LITHONIA 2GTL 2 33L LP840	31W LED	
F	2X4 LAY-IN	LITHONIA 2GTL 2 48L LP840	38W LED	
G	4FT STRIP	LITHONIA ZL1D L48 5000LM FST MVOLT 40K	41W LED	
Н	8FT STRIP	LITHONIA ZL1D L96 6000LM FST MVOLT 40K	60W LED	
I	6"Ø RECESSED CAN	LITHONIA LDN6 40/10 LO6 AR LSS	13W LED	
J	2x4 LAY-IN	LITHONAIA 2BLT4 60L ADP LP840 EZ1	53W LED	
K	36" VANITY LIGHT	LITHONIA FERROS 11534 BZA	(4) 13W CFL	
L	6"Ø RECESSED CAN	LITHONIA LDN6 40/20 LO6 AR LSS	30W LED	
· · · · · · · · · · · · · · · · · · ·	SVET 42611		155	
X1	EXIT SIGN	LITHONIA LQM	LED	

- EQUAL FIXTURES (IN THE ENGINEERS OPINION) BY PRE-APPROVED MANUFACTURER'S ARE ACCEPTABLE.
- FIXTURES NOTED AS "EM" SHALL BE THE SAME AS THE FIXTURE LISTED IN THE SCHEDULE EXCEPT ADD A 1,400 LUMEN BATTERY PACK AND ASSORTED OPTIONS TO PROVIDE PROPER OPERATION ON LOSS OF POWER.
- 3. REMOTE HEAD TO PROVIDE CODE REQUIRED ILLUMINATION OF EXTERIOR SOFFIT.

OCCU	PANCY SENSOR SC	HEDULE			
TYPE	DESCRIPTION	MOUNTING	MOUNTING HGT.	MANUFACTURERS NO.	NOTES
Sos	WALL MOUNTED DUAL TECH	RECESSED	+48"	LUTRON LOS-S SERIES	1, 2
OS-1	WALL MTD. DUAL TECH	SURFACE	+80"	LUTRON LOS-W SERIES	
05-2	CLG MTD. DUAL TECH	SURFACE	•	LUTRON LOS-C SERIES	
PP	POWER PACK	NIPPLE	ABOVE CLG.	LUTRON TO SUIT SENSORS	
Sτ	TIMER SWITCH	RECESSED	+48"		
S _{bs}	DOOR JAMB SWITCH	RECESSED	AS REQ.	EDWARDS #DN415	

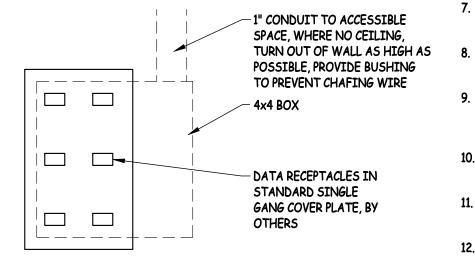
OR EQUAL BY LEVITON

- 1. SEE SPECIFICATIONS FOR COLOR, BLACK WITH SS COVER PLATE IS TYPICAL.
- 2. PROVIDE DUAL LIGHT LEVEL CAPABILITY AND WIRING CONNECTIONS.

	SPECIAL SYSTEMS SYMI	BOLS	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
F/	FIRE ALARM PULL STATION	$\langle H \rangle$	HEAT DETECTOR
F⊲	FIRE ALARM HORN (FAH)	FÓ	FIRE ALARM BELL
F ⊲ cd30	FAH WITH STROBE LIGHT, # INDICATES CANDELA RATING	FAP	FIRE ALARM PANEL
F _{cd30}	FA STROBE LIGHT, # INDICATES CANDELA RATING	AP AP	FIRE ANNUNCIATOR PANEL
$\langle SD \rangle_{C,D,W}$	PHOTOELECTRIC SMOKE DETECTOR, CEILING, DUCT, WALL	$\langle \text{IC} \rangle_{\mathbf{W}}$	INTERCOM, WALL MOUNT, RECESSED
⟨CR⟩ _{W,F}	CARD READER, WALL OR FRAME MOUNT, RECESSED	⟨IC⟩ _F	INTERCOM, FRAME MOUNT, RECESSED
(DM)	DOOR MONITOR	(KP)	KEY PAD
(DC)	DOOR CONTROL	(ML)	MAGNETIC LOCK
(DS)	DURESS SWITCH	Ш	PUSH BUTTON
<u>S</u>	PAGING SYSTEM SPEAKER	⟨VP⟩	VISITATION PHONE
(MH)	MAGNETIC DOOR HOLD OPEN	E	WITH ANY DEVICE = EXISTING TO REMAIN IN SERVICE
CXXX +XXX	SECURITY CAMERA, SEE SCHEDULE CAMERA NUMBER MOUNTING HEIGHT, INCHES		

	POWER SHEET SYMBO	OLS	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
⇒ ₁₂	GROUNDED DUPLEX RECEPTACLE (NEMA 5-20R); MOUNTED 18" AFF UON; NUMBER INDICATES CIRCUIT.	#	GROUNDED QUADRUPLEX RECEPTACLE (NEMA 5-15R); MOUNTED 18" AFF UON.
	GROUNDED DUPLEX RECEPTACLE (NEMA 5-15R);	→ _A	SPECIAL PURPOSE RECEPTACLE; SEE NOTES
₽GFI	GROUND FAULT INTERRUPTOR	-©	CLOCK RECEPTACLE; MOUNTED 84" AFF UON.
- 0+48	GROUNDED DUPLEX RECEPTACLE (NEMA 5-15R) MOUNTED 48" AFF	lee_c	SPECIAL FLOOR RECEPTACLE; LETTER INDICATES TYPE; TYPE DEFINED BY NOTATION OR SCHEDULE.
B	MULTI OUTLET ASSEMBLY; LETTER INDICATES TYPE; TYPE		GROUNDED SINGLE FLOOR RECEPTACLE (NEMA 5-15R).
- Ψ -	DEFINED BY NOTATION OR SCHEDULE.		GROUNDED DUPLEX FLOOR RECEPTACLE (NEMA 5-15R).
Ò	THREE PHASE MOTOR	Y _{FB} XZ	ELECTRICAL FLOOR BOX, SEE NOTE 2
2⊳	TELEPHONE, OR DATA OUTLET BOX, SEE NOTE 1	占	POWER ASSISTED DOOR ACTIVATOR
	SPECIAL CONNECTION POWER	(MH)	MAGNETIC DOOR HOLD OPEN DEVICE
dia.	POWER PANEL	T1	TRANSFORMER, SEE SCHEDULE

- 1. PROVIDE 4x4 BOX WITH CONDUIT TO ACCESSIBLE SPACE, SEE DETAIL.
- 2. X = NUMBER OF DUPLEX RECEPTACLES Y = NUMBER OF DATA RECEPTACLES Z = POWER CIRCUIT NUMBER(S)



FIRE ALARM SYSTEM REQUIREMENTS

- THE NEW TRAINING ROOM ON THE MAIN LEVEL OF THE BUILDING IS CLASSIFIED AS ASSEMBLY OCCUPANCY, A3.
- THE FIRE ALARM SYSTEM FOR THIS PROJECT SHALL BE A COMPLETE DESIGN-BUILD SYSTEM PROVIDED BY THE FIRE ALARM SYSTEM PROVIDER. THE EC SHALL INCLUDE THE COST OF THIS WORK IN HIS BASE BID FOR THE PROJECT. THE FIRE ALARM CONTRACTOR SHALL PROVIDE ALL REQUIRED SYSTEM DESIGN, SUBMITTAL, MATERIALS, EQUIPMENT, INSTALLATION, ETC., THAT MAY BE REQUIRED TO OBTAIN A FULLY CODE COMPLIANT FIRE ALARM SYSTEM FOR THIS
- THE FIRE ALARM SYSTEM SHALL BE INSTALLED IN FULL COMPLIANCE WITH NFPA 72, AS WELL AS ALL OTHER RULES, CODES, ORDINANCES, ORDERS, AND LEGAL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, WHICH MAY APPLY TO THIS BUILDING.
- THE CONTRACTOR SHALL INSTALL THE FIRE ALARM SYSTEM COMPLETE AND OPERABLE AS SHOWN ON THE DRAWINGS, AND REQUIRED BY CODE. ALL MATERIALS, LABOR, AND EQUIPMENT REQUIRED TO PROPERLY COMPLETE THE SYSTEM INSTALLATION SHALL BE PROVIDED BY THE CONTRACTOR AS A PART OF HIS BASE BID ON THE PROJECT.
- THE LOCATIONS OF FIRE ALARM DEVICES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY, THE FIRE ALARM CONTRACTOR RETAINS COMPLETE RESPONSIBILITY FOR PROVIDING COMPLETE CODE COMPLIANT SYSTEM.
- INSTALL ½" EMT CONDUIT (MINIMUM) FOR ALL CABLE.
- 7. FIRE ALARM CABLE SHALL BE SOLID CONDUCTOR.
- 8. FURNISH AND INSTALL END-OF-LINE RESISTORS AND CLEARLY MARK THE LOCATION OF THE
- BAG ALL SMOKE DETECTORS, NEW AND EXISTING, UNTIL FINAL FIRE DEPARTMENT
- 10. FURNISH AND INSTALL ALL REQUIRED PULL STATIONS, SMOKE DETECTORS, HEAT DETECTORS, HORNS, AND HORN/STROBES. STROBES TO HAVE ADJUSTABLE CANDELLA RATINGS.
- 11. ALL FIRE ALARM SYSTEM COMPONENTS SHALL BE UL LISTED.

GENERAL ELECTRICAL NOTES

- ALL SYSTEMS AND INSTALLATION SHALL CONFORM TO ALL APPLICABLE CODE REQUIREMENTS. ELECTRICAL WORK FOR THIS PROJECT IS GOVERNED BY THE 2014 NATIONAL ELECTRICAL CODE. INSTALLING CONTRACTOR IS ASSUMED TO BE FAMILIAR WITH THIS CODE, AND IS HEREBY CHARGED WITH COMPLETING THE INSTALLATION OF THE SYSTEMS SHOWN HEREON IN COMPLETE COMPLIANCE WITH
- THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL WORK, MATERIAL, AND LABOR TO ESTABLISH COMPLETE AND PROPERLY WORKING SYSTEMS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, APPLICATIONS AND FEES AS MAY BE NECESSARY TO COMPLETE THE WORK. THIS INCLUDES ANY AND ALL REVIEW FEES THAT MAY BE REQUIRED FOR THE
- CONTRACTOR IN COORDINATION WITH THE WORK OF ALL OTHER TRADES.
- ARE SHOWN IN THEIR APPROXIMATE LOCATIONS UNLESS NOTED TO THE CONTRARY ON THE PLANS. COORDINATE EXACT LOCATIONS BASED ON ACTUAL FIELD CONDITIONS.
- ALL POWER WIRING SHALL BE STRANDED COPPER CONDUCTOR WITH THHN INSULATION RATED 600 VOLTS. MINIMUM WIRE SIZE, #12 AWG. WHERE THE CODE
- ALL WIRING AND CONDUIT MATERIALS SHALL BE IN STRICT ACCORDANCE WITH
- THE ELECTRICAL CONTRACTOR SHALL PROPERLY GROUND ALL SYSTEMS AND EQUIPMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL
- 10. ALL RECEPTACLES IN BATHROOMS, AND KITCHENS, AND OTHER LOCATIONS AS REQUIRED BY THE CODE, SHALL BE GFCI TYPE.
- 11. ALL MATERIALS AND EQUIPMENT PROVIDED FOR THIS PROJECT SHALL BE NEW AND
- SYSTEMS. THE CONTRACTOR SHALL CORRECT ALL DEFECTS INDICATED BY TESTING AND THEN RETEST UNTIL SATISFACTORY RESULTS ARE OBTAINED.
- 13. NO EQUIPMENT SHALL BE ENERGIZED UNTIL ALL TESTS AND ADJUSTMENTS HAVE
- 14. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN. FOR EXACT FIXTURE LOCATIONS. ARCHITECTURAL PLANS TAKE PRECEDENCE.
- 16. ALL FIXTURES TO BE CENTERED IN CEILING TILE, UON.
- 17. VERIFY MOUNTING HEIGHT OF ALL SUSPENDED FIXTURES WITH ARCHITECT.
- 19. SWITCHES AND RECEPTACLES SHALL BE BLACK WITH SS FACE PLATES, OR AS MY BE

DEMOLITION NOTES

- OBSERVATIONS. THE DEMOLITION WORK SHOWN IS INTENDED TO CONVEY THE GENERAL NATURE AND SCOPE OF WORK REQUIRED. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK NECESSARY TO PROPERLY COMPLETE THE NEW WORK SHOWN ON THESE
- OPERATION OF ALL SYSTEMS.
- 3. REMOVE ALL EXISTING PIPING, DUCTWORK, WIRING, ETC., THAT IS NOT REQUIRED TO SUPPORT THE PROPER OPERATION OF THE NEW SYSTEMS AND EXISTING SYSTEMS TO

THIS CODE, AS WELL AS ALL OTHERS THAT MAY APPLY.

4. FINAL ROUTING OF ALL CONDUITS SHALL BE ESTABLISHED BY THE ELECTRICAL

FIELD MOUNTED DEVICES SUCH AS SWITCHES, MOTOR STATERS, RECEPTACLES, ETC.,

ALLOWS THE USE OF MC CABLE WITH SOLID WIRE, THIS METHOD IS ACCEPTABLE.

INCREASE WIRE SIZES NOTED ON PLANS OR IN SCHEDULES AS REQUIRED BY CODE

THE REQUIREMENTS WITH APPLICABLE CODES AND STANDARDS.

UL APPROVED FOR THE INTENDED USE. 12. THE CONTRACTOR SHALL PERFORM ALL REQUIRED TESTING OF ALL ELECTRICAL

BEEN COMPLETED.

15. SEE ARCHITECTURAL DRAWINGS FOR CEILING LAYOUT, MATERIALS AND HEIGHTS.

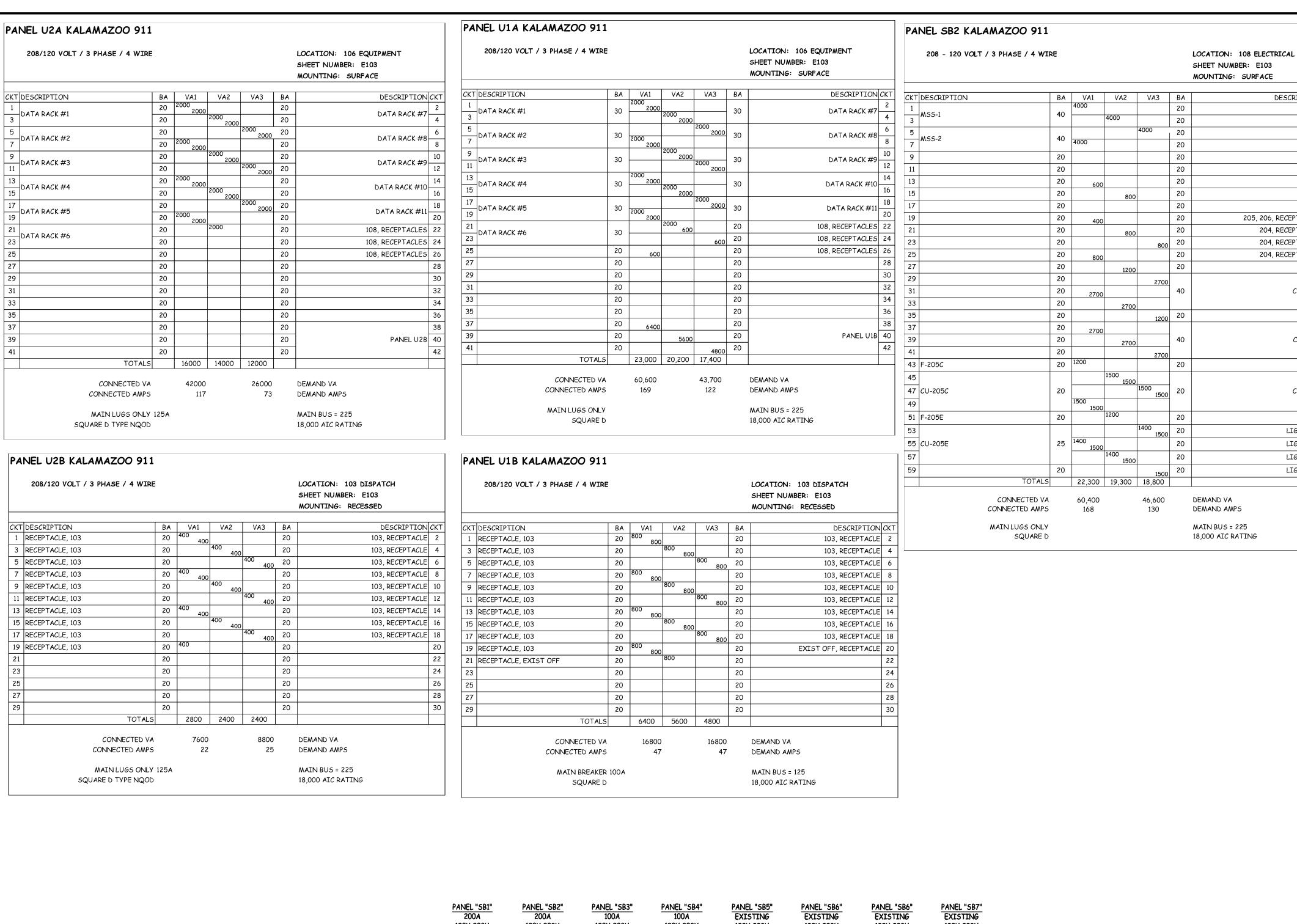
18. VERIFY ALL ROUGH-INS WITH ARCHITECT PRIOR TO INSTALLATION.

REQUIRED BY THE ARCHITECT. ALL TO BE COMMERCIAL GRADE, 20A RATED.

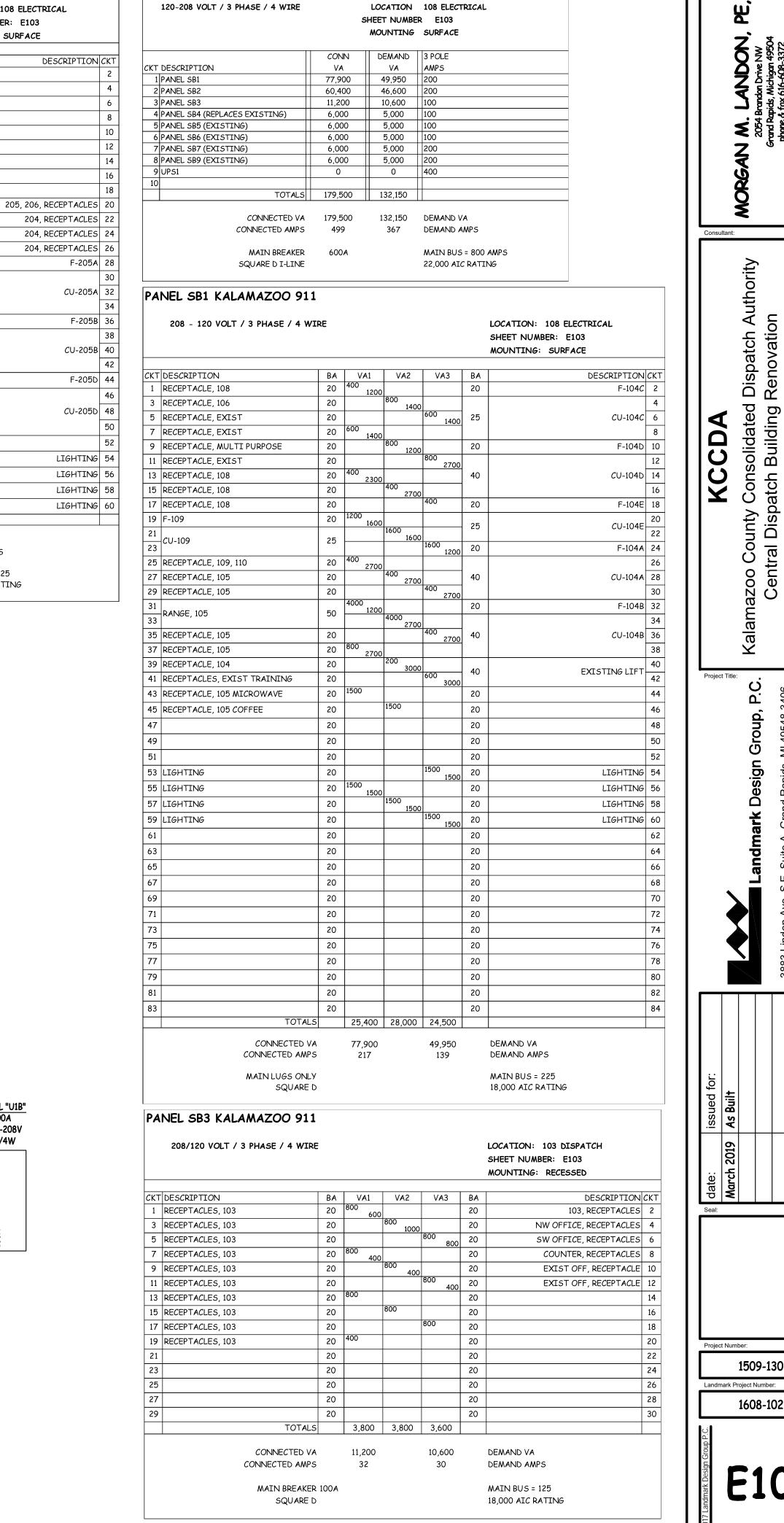
1. INFORMATION SHOWN HERE REFLECTS EXISTING RTECORDS AND RECENT ON-SITE

2. PROVIDE TEMPORARY MECHANICAL AND ELECTRICAL AS NECESSARY TO MAINTAIN PROPER

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-	RECEPTACLE, 108	1	1400				I .	. —
ر ا	RECEPTACLE, 108	20	2300	400		40	CU-104D	1
17	RECEPTACLE, 108	20		2700	400	20	F-104E	
	F-109	20	1200					20
21		25	1000	1600 1600)	25	CU-104E	2
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	RECEPTACLE, 109, 110	20	400 2700	400				2
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	RECEPTACLE, 104	20	2700	200 3000		†		4
41	RECEPTACLES, EXIST TRAINING	20		3000	600 3000	40	EXISTING LIFT	4
43	RECEPTACLE, 105 MICROWAVE	20	1500			20		4
45	RECEPTACLE, 105 COFFEE	20		1500		20		4
47	,	20				20		4
49		20				20		5
51		20				20		5
53	LIGHTING	20			1500 1500	20	LIGHTING	5 5
55	LIGHTING	20	1500 1500	,		20	LIGHTING	5 5
57	LIGHTING	20		1500 1500		20	LIGHTING	5 5
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61		20			1500	20		6
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PANEL MDP KALAMAZOO 911

[‡]25-01 - Page #44

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