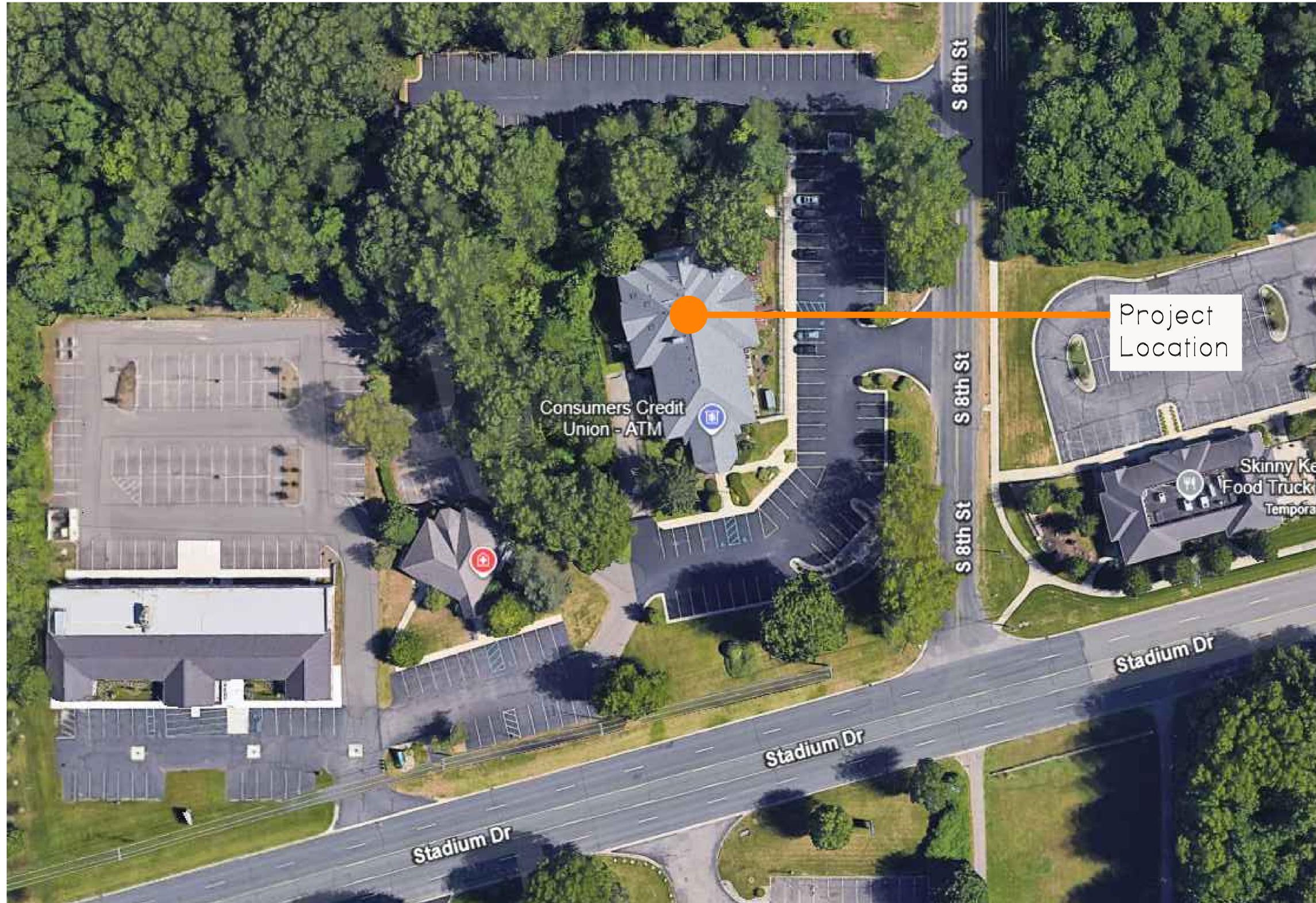


Kalamazoo County Consolidated Dispatch Authority (KCCDA)

7040 Stadium Drive, Kalamazoo, MI 49009



Project:



Kalamazoo County Consolidated Dispatch Authority
7040 Stadium Dr., Kalamazoo, MI 49009

Renovations / Modifications for:

Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:
Issue for Bid:
Date: 03/10/2026

Schley Nelson Architects
Project No.

25-156

Sheet Name:

COVER SHEET

Sheet No.

G001
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Kalamazoo County Consolidated Dispatch Authority (KCCDA)

7040 Stadium Drive, Kalamazoo, MI 49009



General Notes:

- DRAWINGS HAVE BEEN PREPARED FROM OWNER SUPPLIED DRAWINGS AND FIELD REVIEW BY ARCHITECT. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD BEFORE PROCEEDING WITH WORK. EXACT CONDITIONS MAY VARY SOMEWHAT DUE TO FIELD CONDITIONS, BUT IF OVERALL DESIGN CONCEPT APPEARS TO BE COMPROMISED, CONTRACTOR FINDING FIELD CONFLICTS MUST CALL ARCHITECT FOR CLARIFICATION OF INSTRUCTIONS & BEFORE ACTION.
- DO NOT SCALE DRAWINGS, NOMINAL DIMENSIONS ARE USED IN PLANS. REFER TO PLAN NOTES & DETAILS FOR EXACT INFORMATION.
- GENERAL CONTRACTOR, SUB CONTRACTOR, TRADE CONTRACTOR, CONTRACTOR, CONSTRUCTOR, SHALL HAVE SAME MEANING IN THESE DRAWINGS UNDERSTOOD BY SCHLEY NELSON ARCHITECTS TO BE A SINGLE RESPONSIBLE ENTITY FOR THE CONSTRUCTION OF THIS PROJECT.
- G.C. MEANS GENERAL CONTRACTOR OR HIS SUBCONTRACTORS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING & PAYING FOR REQUIRED PERMITS & INSPECTIONS.
- CONTRACTOR'S INSURANCE SHALL BE AS REQUIRED BY OWNER.
- ALL WORK TO BE GUARANTEED ONE YEAR, EXCEPT WHERE MANUFACTURER'S GUARANTEE IS LONGER, FROM DATE OF OWNER ACCEPTANCE OF WORK.
- BEFORE ORDERING MATERIAL OR COMMENCING WORK WHICH IS DEPENDENT FOR PROPER SIZE & INSTALLATION TO BE COORDINATED WITH BUILDING CONDITIONS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY TAKING MEASUREMENTS AT BUILDING SITE AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. ANY DISCREPANCIES BETWEEN DRAWINGS AND/OR SPECIFICATIONS/GENERAL NOTES AND EXISTING OR ESTABLISHED CONDITIONS SHALL BE REFERRED TO THE ARCHITECT FOR ADJUSTMENT BEFORE ANY WORK AFFECTED THEREBY IS BEGUN OR RELATED MATERIALS ORDERED.
- BINDING CONSTRUCTION INSTRUCTIONS MAY BE LOCATED IN ANY PART OF THE ARCHITECTURAL, SITE, STRUCTURAL, FIRE PROTECTION, PLUMBING, MECHANICAL & ELECTRICAL DRAWINGS OR IN THE SPECIFICATIONS, OR IN ANY OTHER PART OF THE CONTRACT DOCUMENTS. IRRESPECTIVE OF NORMAL TRADE ORGANIZATION TOWARD DOCUMENTS. FAILURE OF GENERAL TRADE CONTRACTOR OR HIS SUBCONTRACTORS TO SEE REQUIREMENTS IN ANY PART OF THE CONTRACT DOCUMENTS WILL NOT BE A VALID REASON FOR A CHANGE ORDER.
- FULL OWNER OCCUPANCY: THE OWNER WILL OCCUPY THE SITE & EXISTING BUILDINGS DURING THE ENTIRE PERIOD OF CONSTRUCTION. COOPERATE FULLY WITH THE OWNER OR HIS REPRESENTATIVE DURING CONSTRUCTION OPERATIONS TO MINIMIZE CONFLICTS & TO FACILITATE OWNER USAGE. SCHEDULE & PERFORM THE WORK SO AS NOT TO INTERFERE WITH THE OWNER'S OPERATIONS.
- APPROPRIATE ADVANCE NOTICE IS REQUIRED TO SCHEDULE AND NOTIFY OWNER OF SHUTDOWNS, TEMPORARY INCONVENIENCES TO OWNER, AND LONG AND SHORT TERM DISTURBANCES TO OWNER. SYSTEM SHUT DOWN TIE-INS TO EXISTING SYSTEMS SHALL BE SCHEDULED WITH THE OWNER AT LEAST 48 HRS. IN ADVANCE. SYSTEM SHUT DOWN AND TIE-INS SHALL BE WITH OWNER'S APPROVAL AND IN MANNER PRESCRIBED BY OWNER. INSUFFICIENT ADVANCE NOTICE FOR SUCH CONTRACTOR ACTIONS ARE NOT WARRANTED BY THE RIGHT TO COMPLETE WORK WHEN APPROPRIATE NOTICE HAS NOT BEEN GIVEN ALLOWING THE OWNER APPROPRIATE TIME FOR PREPARATORY ACTIONS RELATIVE TO THE DISTURBANCE. CRITICAL SYSTEMS MAY REQUIRE LONGER NOTICE. REVIEW PROJECT CONSTRUCTION SCHEME W/ OWNER PRIOR TO COMMENCEMENT OF WORK & AT PERIODIC INTERVALS AGREED TO BY OWNER.
- ALL SAFETY ISSUES RELATED TO CONSTRUCTION ARE THE G.C.'S RESPONSIBILITY. COMPLY WITH ALL STATE AND LOCAL ENVIRONMENTAL AND LABOR LAWS IN THE CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING - TEMPORARY OR PERMANENTLY REQUIRED TO EXECUTE WORK. SHORE ALL DEMOLITION OF STRUCTURAL ELEMENTS BEFORE REMOVAL.
- PROTECT ALL CONSTRUCTION & STORED MATERIALS FROM WEATHER DAMAGE. MAINTAIN BUILDING WEATHER-TIGHT AND VANDAL-TIGHT AT ALL TIMES THROUGHOUT CONSTRUCTION TO OWNERS SATISFACTION.
- CONTRACTOR SHALL FURNISH, INSTALL & MAINTAIN SAFE & ADEQUATE WORKING CONDITIONS AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- STOCKPILE AND STAGING AREAS TO BE COORDINATED WITH AND APPROVED BY OWNER.
- TEMPORARY BARRICADES, FENCING AND PEDESTRIAN ROUTING TO BE COORDINATED AND APPROVED BY OWNER
- COMPLY WITH THE LATEST REQUIREMENTS AND STANDARDS OF THE FOLLOWING ORGANIZATIONS OR AS OTHERWISE SPECIFIED:
AMERICAN CONCRETE INSTITUTE
CONCRETE REINFORCING STEEL INSTITUTE
AMERICAN INSTITUTE OF STEEL CONSTRUCTION
- CONCRETE: EXTERIOR WALKS TO BE 5% AIR ENTRAINED LIMESTONE MIX WITH LIGHT BROOM FINISH. ALL WALKS TO PITCH TO DRAIN AND COMPLY WITH ADA & MICHIGAN BARRIER FREE DESIGN RULES.
- SLABS TO BE SET ON 95% COMPACTED GRANULAR SOILS.
- COMPACT ALL FILL AND BACK FILL TO 95% MODIFIED PROCTOR.
- ALL CONCRETE TO BE IN ACCORDANCE WITH A.C.I.301 AND A.C.I.318 NORMAL PRACTICE STANDARDS (LATEST EDITION) (OR AS OTHERWISE SPECIFIED)
- ALL WWF FLAT SHEETS, ASTM A165.
- COVER FOR CONCRETE REINFORCING STEEL IN ACCORDANCE WITH CURRENT ACI 318.
- FOOTING STEEL ASTM A615, Fy = 60KSI, LOCATE 3" ABOVE FOOTING BOTTOM TYPICAL
- ALL MISCELLANEOUS STEEL, IF ANY, TO BE A36.
- TREAT OVERALL BACKFILL AND EXCAVATION FOR INSECTS, TERMITES AND PEST CONTROL.
- 15 MIL. VAPOR BARRIER REQUIRED UNDER FLOOR SLAB PATCH WORK ON WARM SIDE. (TAPED JOINTS REQUIRED)
- LAP CONTINUOUS WALL REINFORCING IN ACCORDANCE WITH CURRENT ACI 318 UNLESS OTHERWISE NOTED. PROVIDE CORNER BARS FOR ALL HORIZONTAL WALL AND FOOTING REINFORCING.
- PROVIDE VERTICAL CONTROL JOINTS IN CONCRETE WALLS @ 24'-0" O.C. MAXIMUM UNLESS OTHERWISE NOTED.
- PROVIDE PREMOULDED EXPANSION JOINT MATERIAL BETWEEN FLOOR SLAB AND FOUNDATION WALLS.
- IT IS THE INTENT TO FINISH ALL WALLS W/ GYP. BD. AND (AS A MINIMUM) PAINT WHETHER OR NOT SPECIFIED OR SHOWN ON ROOM FINISH SCHEDULE. UNLESS OTHERWISE SPECIFIED IN ANY PLACE ON CONSTRUCTION DOCUMENTS.
- G.C. RESPONSIBLE FOR COMPLETE INSTALLATION OF ALL NEW MATERIALS; FLOORING, WALLS & CEILINGS INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. PREP SURFACE AS REQUIRED FOR NEW FINISH. REMOVE ANY/ALL WALL MOUNTED ITEMS (INCLUDING WALLCOVERING), PATCH & SAND SMOOTH & PRIME & PAINT ANY/ALL HOLES, DIVOTS ABANDONED OPENINGS ETC, WHETHER INDICATED OR NOT IN ALL AREAS OF NEW FINISH WORK. INTENT IS FOR SMOOTH FINISH WITH NO DISCERNABLE JOINTS IN ALL AREAS OF NEW WORK. COORDINATE PREP. WORK REQUIREMENTS WITH NEW FINISH MANUFACTURERS AND INSTALLATION GUIDELINES AND RECOMMENDATIONS FOR EACH NEW PRODUCT/MATERIAL/FINISH BEING INSTALLED. ALL NEW WALL SURFACES TO BE FREE OF DEFECTS AND TAPED, FILLED, SANDED SMOOTH AND PRIMED TO RECEIVE NEW FINISH PER FINISH SCHEDULE. PAINTING TO INCLUDE 1 PRIMER COAT AND 2 FINISH COATS.
- ALL SHELVING, GRAB BARS, COUNTERS, WALL HUNG ACCESSORIES, WALL MOUNTED CABINETS AND WALL MOUNTED LIGHT FIXTURES ARE TO BE SECURELY ANCHORED INTO THE WALL WITH SOLID NON-COMB. WOOD BLOCKING BY CONTRACTOR.
- FIELD VERIFY LOCATIONS OF WALL MOUNTED ACCESSORIES W/ OWNER IN FIELD.
- NON-COMB. WOOD FRAMING E=17 X 10 PSI, Fb = 1500 PSI.
- ALL FLOOR MATERIAL JOINTS TO BUTT IN A FLUSH CONDITION WITH "0" ZERO VERTICAL OFFSET TOLERANCE ALLOWANCE. PRE-LEVEL OR FLOOR STONE TRANSITIONS AS REQUIRED FOR COMFORTABLE FLOOR MATERIAL CHANGES.
- ALL ALUMINUM SURFACES IN CONTACT WITH METAL SURFACES OTHER THAN ALUMINUM ARE TO BE ISOLATED BY AN ASPHALTIC BREAKER STRIP OR ARCHITECT APPROVED EQUAL.
- CONTRACTOR TO REMOVE AND REPLACE ANY WALL MOUNTED ACCESSORIES AS REQUIRED TO AFFECT NEW WORK.
- ALL CEILINGS TO BE ACCESSED FOR WORK WHETHER INDICATED OR NOT, SHALL BE REMOVED & REINSTALLED CLEAN & WITHOUT ANY DAMAGE BY EACH TRADE CONTRACTOR AND AT NO ADDITIONAL COST TO OWNER.
- FOR EXACT SIZE AND LOCATION OF MECHANICAL, PLUMBING AND ELECTRICAL ITEMS AND OPENINGS, CONSULT RESPECTIVE SUBCONTRACTORS AND COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- CONTRACTOR SHALL COORDINATE THE MECHANICAL & PLUMBING AND ELECTRICAL TRADES FOR THE LOCATION OF DUCTS, PIPING, BOXES, CHASES, CONDUITS, ETC.
- ALL HOLES FROM ABANDONED EXISTING OPENINGS, DUCT PASSAGES, CONDUITS, ELECTRICAL DEVICES, ETC. WHICH ARE FINISHED TO VIEW OR IN NEW OR EXIST SMOKE OR FIRE RATED. CONSTRUCTION AND ARE NOT SCHEDULED TO BE BOARDED OVER ARE TO BE FILLED & PATCHED IN TO MATCH EXISTING.
- INTENT IS FOR ALL OUTLET BOXES & CONDUIT TO BE RECESSED INTO AND BEHIND FINISHED CONSTRUCTION UNLESS OTHERWISE INDICATED.
- INDEPENDENT AIR BALANCE TO BE PERFORMED AT THE CONCLUSION OF THE MECHANICAL SYSTEM INSTALLATION.

Building and Project Data:

EXISTING ZONING:
C - LOCAL BUSINESS

PARCEL:
B2

SIZE:
88,426.8 S.F. (2.03 ACRES)

SITE COVERAGE:
PERCENT BUILDING AREA = 12%

CONSTRUCTION TYPE:
5B CONSTRUCTION.

RISK CATEGORY OF BUILDING:
ESSENTIAL FACILITY, RISK CATEGORY IV, DESIGNATED EMERGENCY PREPAREDNESS, COMMUNICATIONS & OPERATION CENTER

USE GROUP:
B - BUSINESS

FIRE SUPPRESSION:
UNSUPPRESSED EXCEPT NITROGEN & ARGON GAS FOR DISPATCH EQUIPMENT.

MAXIMUM EXIT ACCESS TRAVEL DISTANCE:
200'

ALLOWABLE AREA:
9,000 S.F. PER FLOOR X AREA INCREASE OF 1.75 AS SITE ALLOWS 30' MINIMUM CLEAR AROUND BUILDING FOR A TOTAL ALLOWABLE AREA OF 15,750 S.F. PER FLOOR.

LOWER LEVEL: 9,178 G.S.F. OF B USE GROUP WITH TWO AT GRADE EXITS.

MAIN LEVEL: 9,612 G.S.F. OF B USE GROUP WITH ONE AT GRADE EXIT AND TWO EXITS VIA EXTERIOR STEPS.

SPECIAL NOTE: THE INTERIOR STAIRS ARE NOT USED AS A REQUIRED MEANS OF EGRESS FROM EITHER FLOOR LEVEL. AS SUCH, THE INTERIOR STAIRS DO NOT NEED TO BE FIRE RATED OR ENCLOSED AND DO NOT NEED TO LEAD DIRECTLY TO THE EXTERIOR OF THE BUILDING.

Specifications:

- DIVISION 1 - GENERAL CONDITIONS**
- SEE OTHER GENERAL NOTES ON SHEET 6001.
 - ALL WORK SHOWN TO BE COMPLETED IN QUALITY WORKMANSHIP WAY APPROPRIATE TO THE JOB BY CONTRACTORS QUALIFIED AND WITH THREE (3) YEARS MINIMUM EXPERIENCE IN THE TRADE INVOLVED. MATERIALS AND EQUIPMENT, NOT DESCRIBED HEREIN, SHALL BE OF A STANDARD EQUAL TO GOOD PRACTICE COMMENSURATE WITH THE CLASS OF BUILDING BEING CONSTRUCTED.
 - THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AIA DOCUMENTS A-201, LATEST EDITION, IS ON FILE IN THE ARCHITECT'S OFFICE, AND THE CONTRACTOR MAY REFER TO THEM FOR PERTINENT INFORMATION, AS THEY ARE AN INTEGRAL PART OF THE SPECIFICATIONS FOR THIS PROJECT. FAILURE TO CONSULT THESE GENERAL CONDITIONS WILL NOT EXCUSE THE CONTRACTOR RELATIVE TO HIS OBLIGATIONS THERETO.
 - CONTRACTOR'S LIABILITY INSURANCE AND PERFORMANCE BONDS SHALL BE AS REQUIRED BY THE OWNER. THE OWNER SHALL BE NAMED AS INSURED.
 - OWNER OR HIS VENDOR WILL PRE-OCCUPANCY WIRE AND TERMINATE TELEPHONE SYSTEM AND COMPUTER SYSTEM(S) IN CONTRACTOR-INSTALLED CONDUITS AND BACKBOXES. COORDINATE ALL FINAL ROUTINGS, WALK THROUGH AND VERIFY BEFORE DRYWALLING ALL BACKBOX LOCATIONS WITH OWNER AND NOTIFY OWNER OF APPROPRIATE TIME TO NOTIFY HIS VENDOR FOR SUCH INSTALLATION.
 - PROVIDE TO OWNER, AT COMPLETION OF PROJECT, A CLEAN UNDAMAGED SET OF ORIGINAL MAINTAINED AND MARKED-UP PRINTS OF "RECORD CONSTRUCTION". MARK DRAWINGS TO SHOW ACTUAL INSTALLATIONS.
 - THE CONTRACT DOCUMENTS ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY ANY ONE CONTRACTOR SHALL BE AS BINDING AS IF CALLED FOR BY ALL CONTRACTORS. THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE IN THE CONTRACT PRICE THE COST OF ALL PERMITS, LABOR, MATERIAL, FUEL, TOOLS, EQUIPMENT, TEMPORARY LIGHT FIXTURES, TRANSPORTATION, AND EVERYTHING PROPERLY INCIDENTAL, THERETO FOR CONSTRUCTION OF A COMPLETE BUILDING AND ALL OTHER EXPENSES AS MAY BE NECESSARY FOR THE PROPER EXECUTION OF THE WORK. IN INTERPRETING THE CONTRACT DOCUMENTS, WORDS DESCRIBING MATERIALS OR WORDS WHICH HAVE A WELL-KNOWN TECHNICAL OR TRADE MEANING, UNLESS OTHERWISE SPECIFICALLY DEFINED IN THE CONTRACT DOCUMENTS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH SUCH WELL KNOWN MEANING RECOGNIZED BY ARCHITECTS AND THE CONSTRUCTION INDUSTRY.
 - ALL SAFETY ISSUES RELATED TO CONSTRUCTION ARE CONTRACTORS RESPONSIBILITY. COMPLY WITH ALL STATE AND LOCAL ENVIRONMENTAL, EROSION CONTROL AND LABOR LAWS IN THE CONSTRUCTION OF THIS PROJECT.
 - PROVIDE TWO (2) EXECUTED COPIES OF ALL WARRANTIES TO OWNER.
- DIVISION 3 - CONCRETE**
- REFER TO GENERAL NOTES FOR CONCRETE GUIDELINES.
- DIVISION 5 - METALS**
- ALL ALUMINUM SURFACES IN CONTACT WITH METAL SURFACES OTHER THAN ALUMINUM ARE TO BE ISOLATED BY AN ASPHALTIC BREAKER STRIP OR APPROVED EQUAL.
- DIVISION 6 - CARPENTRY**
- ALL WALL-MOUNTED ACCESSORIES ARE TO BE SECURELY ANCHORED INTO THE WALL WITH SOLID WOOD BLOCKING BY CONTRACTOR.
- DIVISION 7 - THERMAL/MOISTURE PROTECTION**
- PROVIDE FIBERGLASS BATTS IN NEW PARTITIONS, 3-1/2" THICK AT 2X4 STUD WALLS.
- DIVISION 9 - INTERIOR FINISHES**
- ALL INTERIOR COLORS TO BE SELECTED BY OWNER U.O.N.
 - ALL NEW GYPSUM BOARD (GYP. BD) MINIMUM 5/8" AT CEILING, MINIMUM 1/2" AT WALLS. INSTALLATION TO COMPLY WITH GYPSUM ASSOCIATION STANDARD GA-216. FINISH GYPSUM WALL BOARD BY APPLYING (3) COATS AND SANDING BETWEEN COATS AND AFTER FINAL COAT:
 - EMBEDDING AND FIRST COAT: SETTING TYPE JOINT COMPOUND
 - FILL (SECOND) COAT: SETTING TYPE JOINT COMPOUND
 - FINISH (THIRD) COAT: READY MIX DRYING TYPE ALL PURPOSE OR TOPPING COMPOUND.
 - MAINTENANCE STOCK TO BE LEFT FOR OWNER:
 - CARPET: (IF ANY) 2 SQUARE YARDS.
 - CERAMIC TILE: 1/4 BOX
 - PAINT BARE METAL: PRIMER AND TWO (2) COATS ALKYD ENAMEL (SHEEN/COLOR OWNER SELECT).
 - PAINT DRYWALL: PRIMER AND TWO (2) COATS INTERIOR ENAMEL PRATT & LAMBERT (SHEEN/COLOR OWNER SELECT).
- SPECIAL CLEAN UP STANDARD**
- ALL AREAS TO BE HOUSEKEEPING CLEAN, SURFACE POLISHED, AREAS MOPPED CLEAN OR VACUUMED AND READY FOR OCCUPANCY AT PROJECT COMPLETION. ALL LIGHT FIXTURES TO BE CLEANED AND BULBS FRESH AT PROJECT DELIVERY TO OWNER.
- MECHANICAL GENERAL NOTES**
- REFER TO MECHANICAL DRAWINGS.
- ELECTRICAL GENERAL NOTES:**
- REFER TO ELECTRICAL DRAWINGS.

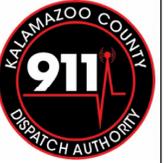
Drawing Index:

G001	COVER SHEET
G101	GENERAL PROJECT INFORMATION, GENERAL NOTES, DRAWING INDEX
C101	SITE PLAN
A101	LOWER LEVEL FLOOR PLAN
A102	MAIN LEVEL FLOOR PLAN
A301	DETAILS
A302	DETAILS
A501	LOWER LEVEL FLOOR FINISH PLAN
A502	MAIN LEVEL FLOOR FINISH PLAN
A901	ROOF PLAN
M101	LOWER LEVEL FLOOR MECHANICAL PLAN
M102	MAIN LEVEL FLOOR MECHANICAL PLAN
E101	LOWER LEVEL FLOOR ELECTRICAL PLAN
E102	MAIN LEVEL FLOOR ELECTRICAL PLAN

Codes/Design Criteria:

- 2021 MICHIGAN BUILDING CODE
 - 2021 MICHIGAN REHAB CODE
 - 2021 MICHIGAN MECHANICAL CODE
 - 2021 MICHIGAN PLUMBING CODE
 - 2023 NATIONAL ELECTRICAL CODE (NEC)
 - 2021 MICHIGAN UNIFORM ENERGY CODE
- ALL CONSTRUCTION TO COMPLY WITH THE MICHIGAN BUILDING CODE 2021 & THE MICHIGAN BARRIER FREE AND ADA GUIDELINES.

Project:



Renovations / Modifications for:
Kalamazoo County Consolidated Dispatch Authority
 7040 Stadium Dr., Kalamazoo, MI 49009

Rev. Date: _____

Date: 03/10/2026

Schley Nelson Architects
Project No.

25-156

Sheet Name:

GENERAL
PROJECT INFO

Sheet No.

G101

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REFER TO DRAWING SHEET A301 FOR ROOF, SOFFIT, GUTTER, VENT AND HEAT TAPE WORK

ITEM 1
REFER TO DETAILS 1, 2 & 3 ON SHEET A/301

ITEM 1
APPROX. LOCATION OF EXISTING GENERATOR & CONC. PAD TO BE REMOVED

ITEM 1
REFER TO DETAILS 1, 2 & 3 ON SHEET A/301

EXISTING ASPHALT DRIVE

ITEM 6
CLEAN DAMAGED AREA OF CONCRETE, FILL CRACK W/ PATCHING COMPOUND

ITEM 7
REMOVE EXISTING PANIC BAR AND INSTALL NEW HEAVY DUTY EXTERIOR GRADE PANIC BAR - ALWAYS FREE EXITING FROM INSIDE FENCE AREA TO PUBLIC SIDEWALK - EXISTING ELECTRIC FEATURES AND OUTSIDE TRIM LEVER HARDWARE TO REMAIN - NEW PANIC BAR: ADVANTEX DETEX 40XW SERIES WEATHERIZED 628 ALUMINUM - DOOR HANDING TO MATCH EXISTING BEING REPLACED

ITEM 6
CLEAN DAMAGED AREA OF CONCRETE, UNDERCUT THE EDGES TO CREATE A "KEY" FOR THE NEW CONCRETE. INSTALL CONCRETE PATCHING COMPOUND AND TEXTURE THE FINISH TO MATCH THE EXISTING ADJACENT CONCRETE

ITEM 6
CLEAN DAMAGED AREA OF CONCRETE, UNDERCUT THE EDGES TO CREATE A "KEY" FOR THE NEW CONCRETE. INSTALL CONCRETE PATCHING COMPOUND AND TEXTURE THE FINISH TO MATCH THE EXISTING ADJACENT CONCRETE

ITEM 7
REMOVE EXISTING PANIC BAR AND INSTALL NEW HEAVY DUTY EXTERIOR GRADE PANIC BAR - ALWAYS FREE EXITING FROM INSIDE FENCE AREA TO PUBLIC SIDEWALK - EXISTING ELECTRIC FEATURES AND OUTSIDE TRIM LEVER HARDWARE TO REMAIN - NEW PANIC BAR: ADVANTEX DETEX 40XW SERIES WEATHERIZED 628 ALUMINUM - DOOR HANDING TO MATCH EXISTING BEING REPLACED

ITEM 5
REFER TO DETAILS 4, 5, 6 & 7 ON SHEET A/301

ITEM 6
CLEAN DAMAGED AREA OF CONCRETE, UNDERCUT THE EDGES TO CREATE A "KEY" FOR THE NEW CONCRETE. INSTALL CONCRETE PATCHING COMPOUND AND TEXTURE THE FINISH TO MATCH THE EXISTING ADJACENT CONCRETE

ITEM 8
FABRICATE AND INSTALL BREAK METAL SHROUD OVER EXISTING WALL PENETRATION - SHROUD TO MATCH EXISTING ADJACENT SHROUDS

ITEM 6
CLEAN DAMAGED AREA OF CONCRETE, FILL CRACK W/ PATCHING COMPOUND

ITEM 6
CLEAN DAMAGED AREA OF CONCRETE, UNDERCUT THE EDGES TO CREATE A "KEY" FOR THE NEW CONCRETE. INSTALL CONCRETE PATCHING COMPOUND AND TEXTURE THE FINISH TO MATCH THE EXISTING ADJACENT CONCRETE

BID NOTES:

BASE BID:

- ITEM 1
- ITEM 2
- ITEM 4
- ITEM 5
- ITEM 6
- ITEM 7
- ITEM 8
- ITEM 9
- ITEM 10
- ITEM 11
- ITEM 12
- ITEM 22
- ITEM 23

ADD ALTERNATE BID ONE:

- ITEM 3
- ITEM 14
- ITEM 16
- ITEM 17
- ITEM 18
- ITEM 19
- ITEM 20
- ITEM 21

ADD ALTERNATE BID TWO:

- ITEM 13
- ITEM 15

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Architect Seal

Project:
Kalamazoo County Dispatch Authority
911 Dispatch Authority

Renovations / Modifications for:
Kalamazoo County Consolidated Dispatch Authority
7040 Stadium Dr., Kalamazoo, MI 49009

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Issue for Bid:	
Date:	03/10/2026
Schley Nelson Architects Project No.	

25-156

Sheet Name:

SITE PLAN

Sheet No.

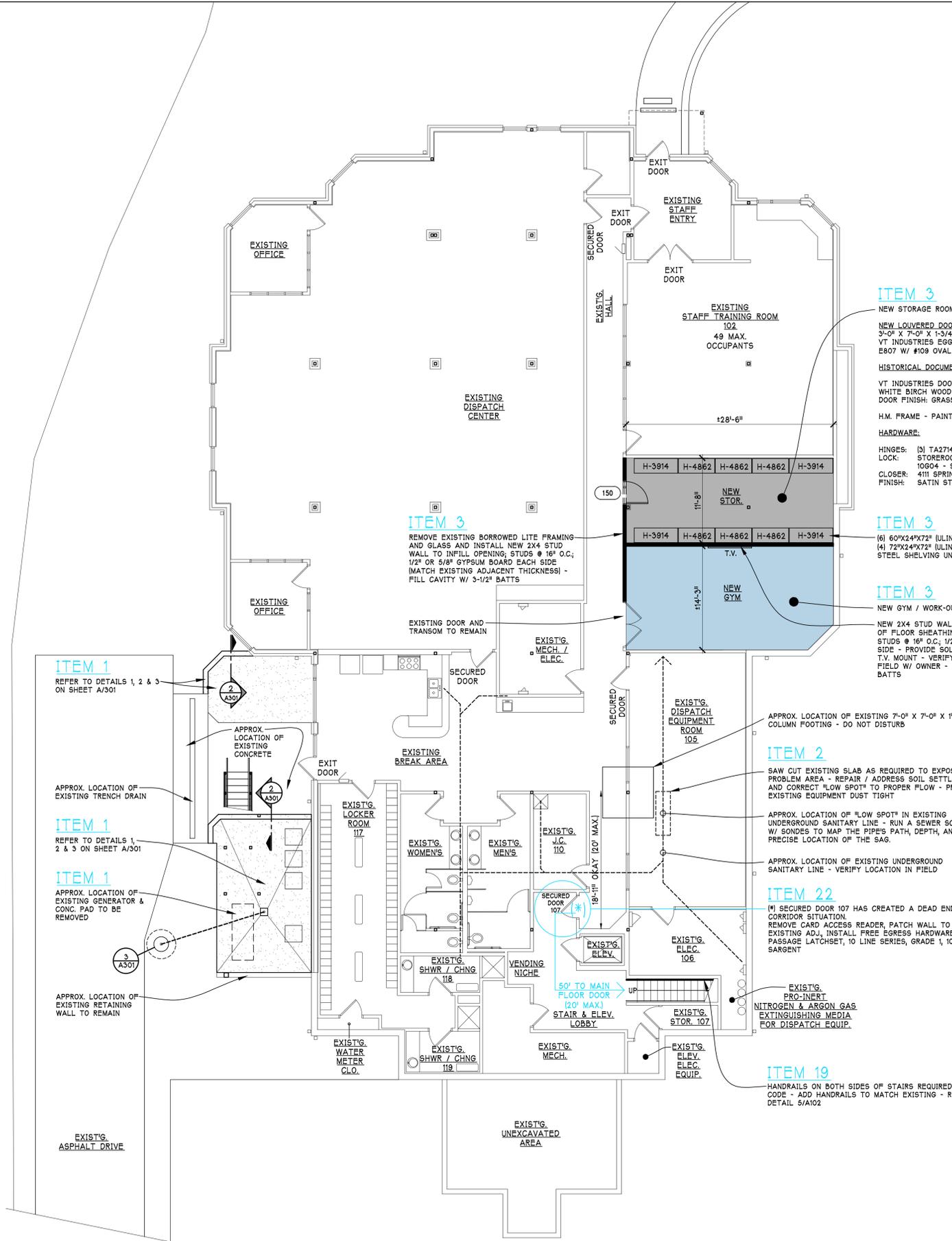
C101

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Site Plan

3/32" = 1'-0"





ITEM 1
REFER TO DETAILS 1, 2 & 3 ON SHEET A/301

ITEM 1
REFER TO DETAILS 1, 2 & 3 ON SHEET A/301

ITEM 1
APPROX. LOCATION OF EXISTING GENERATOR & CONC. PAD TO BE REMOVED

APPROX. LOCATION OF EXISTING RETAINING WALL TO REMAIN

EXIST'G ASPHALT DRIVE

ITEM 3
REMOVE EXISTING BORROWED LITE FRAMING AND GLASS AND INSTALL NEW 2X4 STUD WALL TO INFILL OPENING; STUDS @ 16" O.C.; 1/2" OR 5/8" GYPSUM BOARD EACH SIDE (MATCH EXISTING ADJACENT THICKNESS) - FILL CAVITY W/ 3-1/2" BATTS

ITEM 3
NEW STORAGE ROOM W/ LAY-IN CEILING & W/ NEW LOUVERED DOOR. 150
3'-0" X 7'-0" X 1-3/4"
VT INDUSTRIES EGGERS COLLECTION FLAT PANEL E807 W/ #109 OVAL SLATS (24X FREE AREA)
HISTORICAL DOCUMENTS INDICATE THE FOLLOWING:
VT INDUSTRIES DOORS - MATCH EXISTING ADJ. - V.I.F.
WHITE BIRCH WOOD VENEER DOOR - MATCH EXISTING ADJ. - V.I.F.
DOOR FINISH: GRASSLAND GR07 - MATCH EXISTING ADJ. - V.I.F.
H.M. FRAME - PAINT WP-2A - REFER TO SHEET A501
HARDWARE:
HINGES: (3) TA2714 4-1/2"x4-1/2" U526D - MCKINNEY
LOCK: STOREROOM LOCKSET: 10 LINE SERIES, GRADE 1 10604 - SARGENT
CLOSER: 4111 SPRING CUSH - LCN
FINISH: SATIN STAINLESS - MATCH EXISTING ADJ. - V.I.F.

ITEM 3
(6) 60"x24"x72" (ULINE MODEL NO. H-4862) & (4) 72"x24"x72" (ULINE MODEL NO. H-3914) STEEL SHELVING UNITS

ITEM 3
NEW GYM / WORK-OUT AREA
NEW 2X4 STUD WALL FULL HT. TO BOTTOM OF FLOOR SHEATHING ABOVE (W/11" AFF.), STUDS @ 16" O.C.; 1/2" GYPSUM BOARD EACH SIDE - PROVIDE SOLID WOOD BLOCKING FOR T.V. MOUNT - VERIFY EXACT LOCATION IN FIELD W/ OWNER - FILL CAVITY W/ 3-1/2" BATTS

ITEM 2
SAW CUT EXISTING SLAB AS REQUIRED TO EXPOSE PROBLEM AREA - REPAIR / ADDRESS SOIL SETTLING AND CORRECT FLOW SPOT* TO PROPER FLOW - PROTECT EXISTING EQUIPMENT DUST TIGHT
APPROX. LOCATION OF "FLOW SPOT" IN EXISTING UNDERGROUND SANITARY LINE - RUN A SEWER SCOPE W/ SONDES TO MAP THE PIPES PATH, DEPTH, AND PRECISE LOCATION OF THE SAG.
APPROX. LOCATION OF EXISTING UNDERGROUND SANITARY LINE - VERIFY LOCATION IN FIELD

ITEM 22
IN SECURED DOOR 107 HAS CREATED A DEAD END CORRIDOR SITUATION
REMOVE CARD ACCESS READER, PATCH WALL TO MATCH EXISTING ADJ., INSTALL FREE EGRESS HARDWARE: PASSAGE LATCHSET, 10 LINE SERIES, GRADE 1, 10U15 - SARGENT

ITEM 19
HANDRAILS ON BOTH SIDES OF STAIRS REQUIRED BY CODE - ADD HANDRAILS TO MATCH EXISTING - REFER TO DETAIL S/A102

BID NOTES:

- BASE BID:
ITEM 1
ITEM 2
ITEM 4
ITEM 5
ITEM 6
ITEM 7
ITEM 8
ITEM 9
ITEM 10
ITEM 11
ITEM 12
ITEM 22
ITEM 23

ADD ALTERNATE BID ONE:

- ITEM 3
ITEM 14
ITEM 16
ITEM 17
ITEM 18
ITEM 19
ITEM 20
ITEM 21

ADD ALTERNATE BID TWO:

- ITEM 13
ITEM 15

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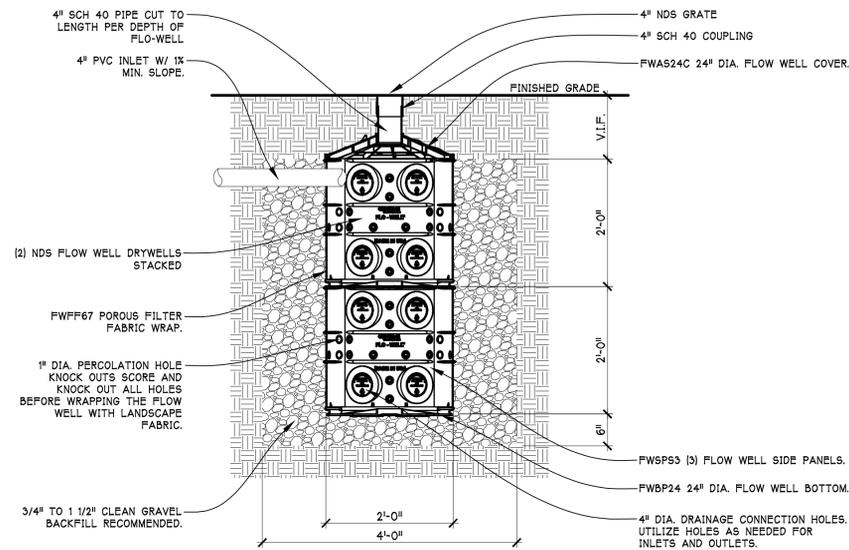
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Date:	03/10/2026
Schley Nelson Architects Project No.	

25-156
Sheet Name:
LOWER LEVEL FLOOR PLAN
Sheet No.
A101
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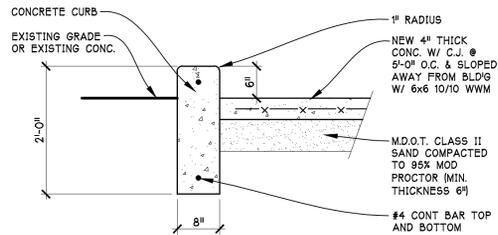
Lower Level Floor Plan
1/8" = 1'-0"



Item 1 Dry Well System

3/4" = 1'-0"

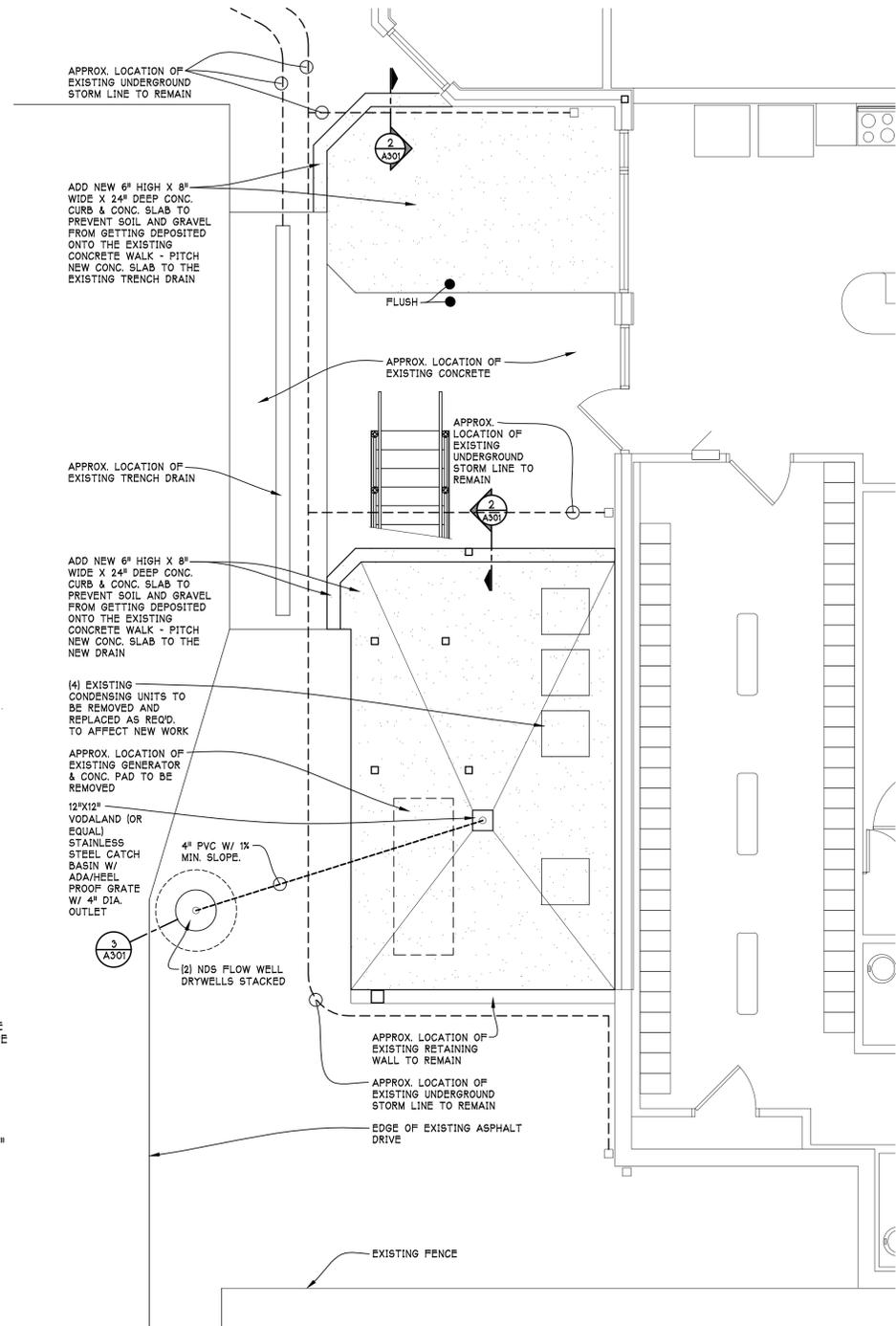
3 A301



Item 1 Conc. / Curb Detail

3/4" = 1'-0"

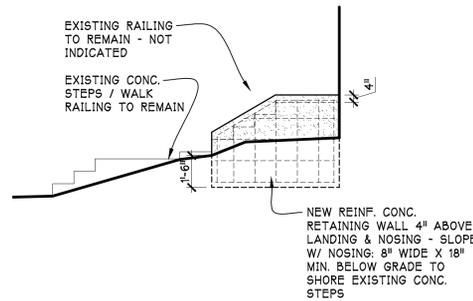
2 A301



Item 1 Enlarged Plan

1/4" = 1'-0"

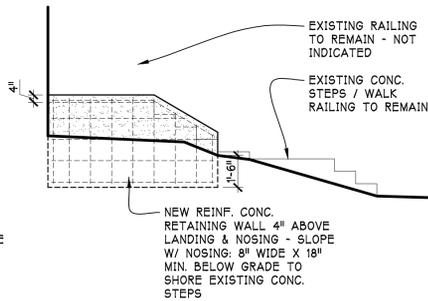
1 A301



Item 5 Retaining Wall Elev.

1/4" = 1'-0"

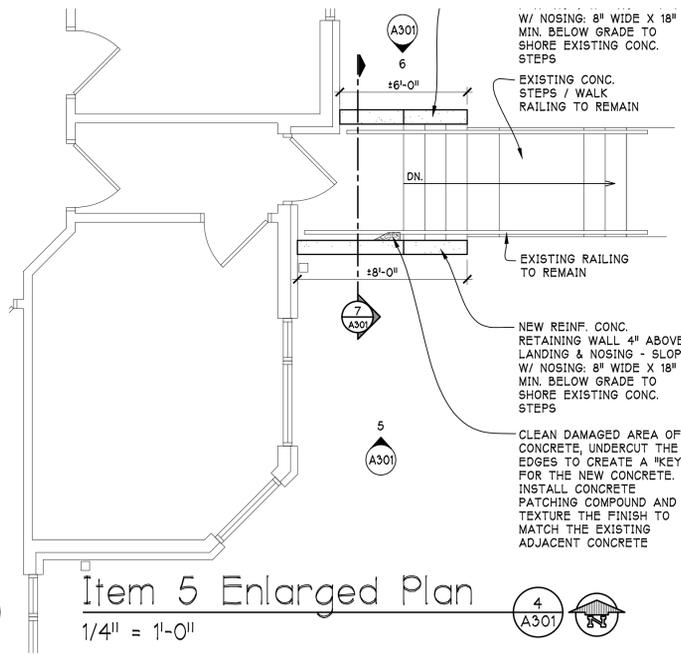
6 A301



Item 5 Retaining Wall Elev.

1/4" = 1'-0"

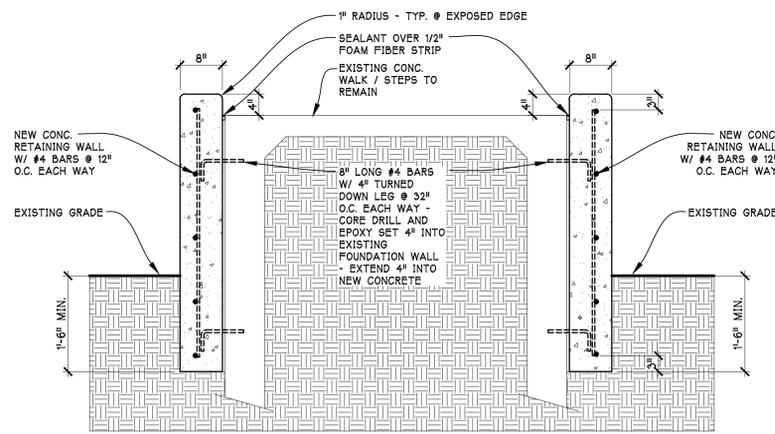
5 A301



Item 5 Enlarged Plan

1/4" = 1'-0"

4 A301



Item 5 Conc. Retaining Wall Detail

3/4" = 1'-0"

7 A301

BID NOTES:

BASE BID:

- ITEM 1
- ITEM 2
- ITEM 4
- ITEM 5
- ITEM 6
- ITEM 7
- ITEM 8
- ITEM 10
- ITEM 11
- ITEM 12
- ITEM 22
- ITEM 23

ADD ALTERNATE BID ONE:

- ITEM 3
- ITEM 14
- ITEM 16
- ITEM 17
- ITEM 18
- ITEM 19
- ITEM 20
- ITEM 21

ADD ALTERNATE BID TWO:

- ITEM 13
- ITEM 15



4200 S. 9th Street,
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Oshtemo, MI 49077
(269) 375-8360

Architect Seal

Project:



Kalamazoo County Consolidated Dispatch Authority
7040 Stadium Dr., Kalamazoo, MI 49009

Rev. Date:	

Date: 03/10/2026
Schley Nelson Architects
Project No.

25-156

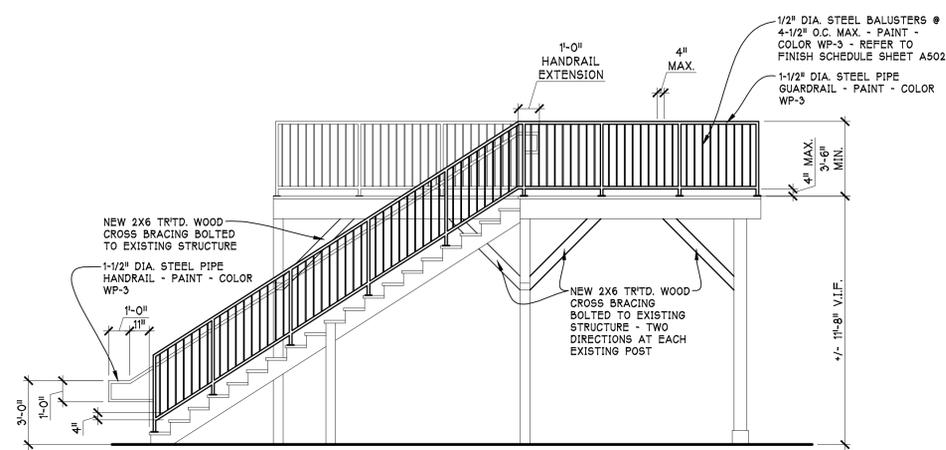
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DETAILS

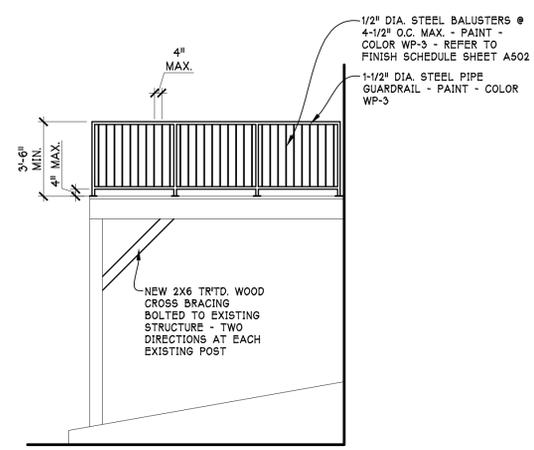
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A301

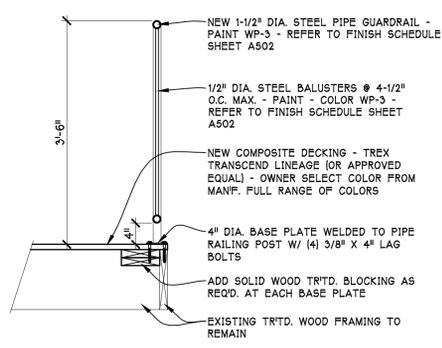
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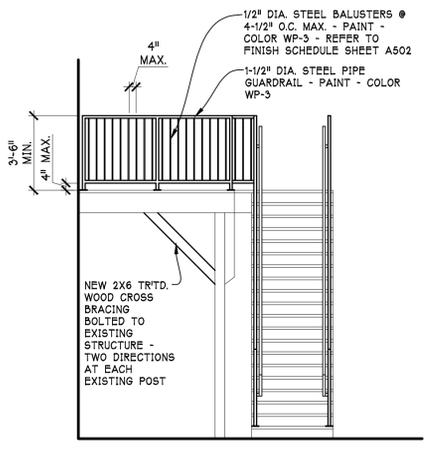
Item 4
Deck Railing Elev. 3
1/4" = 1'-0" A302



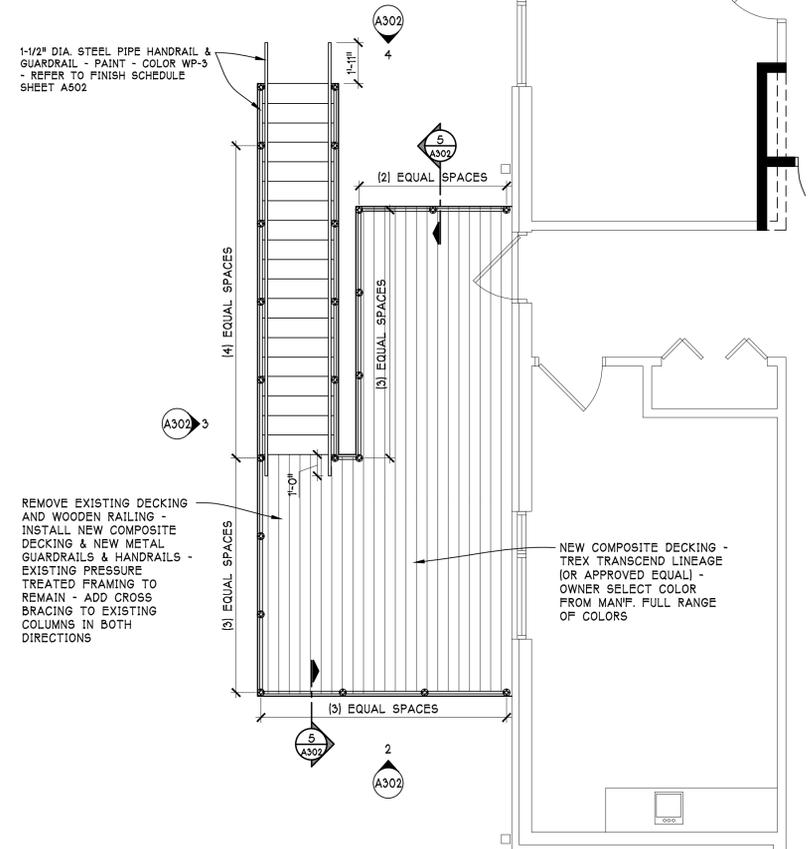
Item 4
Deck Railing Elev. 2
1/4" = 1'-0" A302



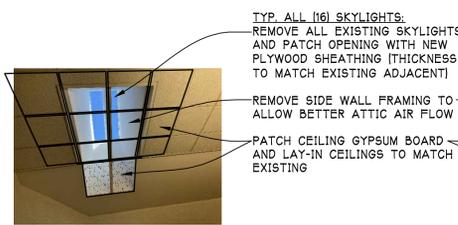
Item 4
Deck Detail 5
3/4" = 1'-0" A302



Item 4
Deck Railing Elev. 4
1/4" = 1'-0" A302



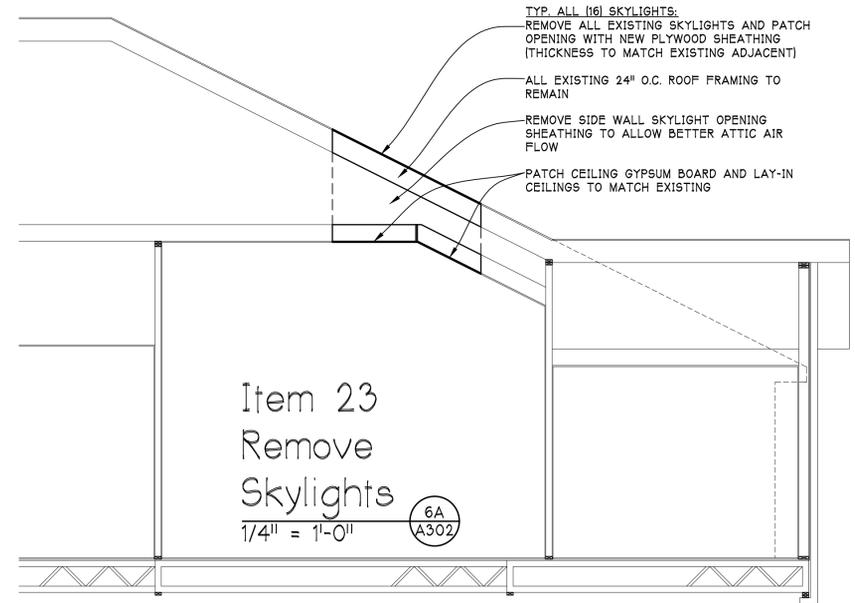
Item 4 Enlarged Plan 1
1/4" = 1'-0" A302



Item 23
Remove Skylights 6C
1/4" = 1'-0" A302



Item 23
Remove Skylights 6B
1/4" = 1'-0" A302



Item 23
Remove Skylights 6A
1/4" = 1'-0" A302

BID NOTES:

- BASE BID:
 ITEM 1
 ITEM 2
 ITEM 4
 ITEM 5
 ITEM 6
 ITEM 7
 ITEM 8
 ITEM 10
 ITEM 11
 ITEM 12
 ITEM 22
 ITEM 23
- ADD ALTERNATE BID ONE:
 ITEM 3
 ITEM 14
 ITEM 16
 ITEM 17
 ITEM 18
 ITEM 19
 ITEM 20
 ITEM 21
- ADD ALTERNATE BID TWO:
 ITEM 13
 ITEM 15

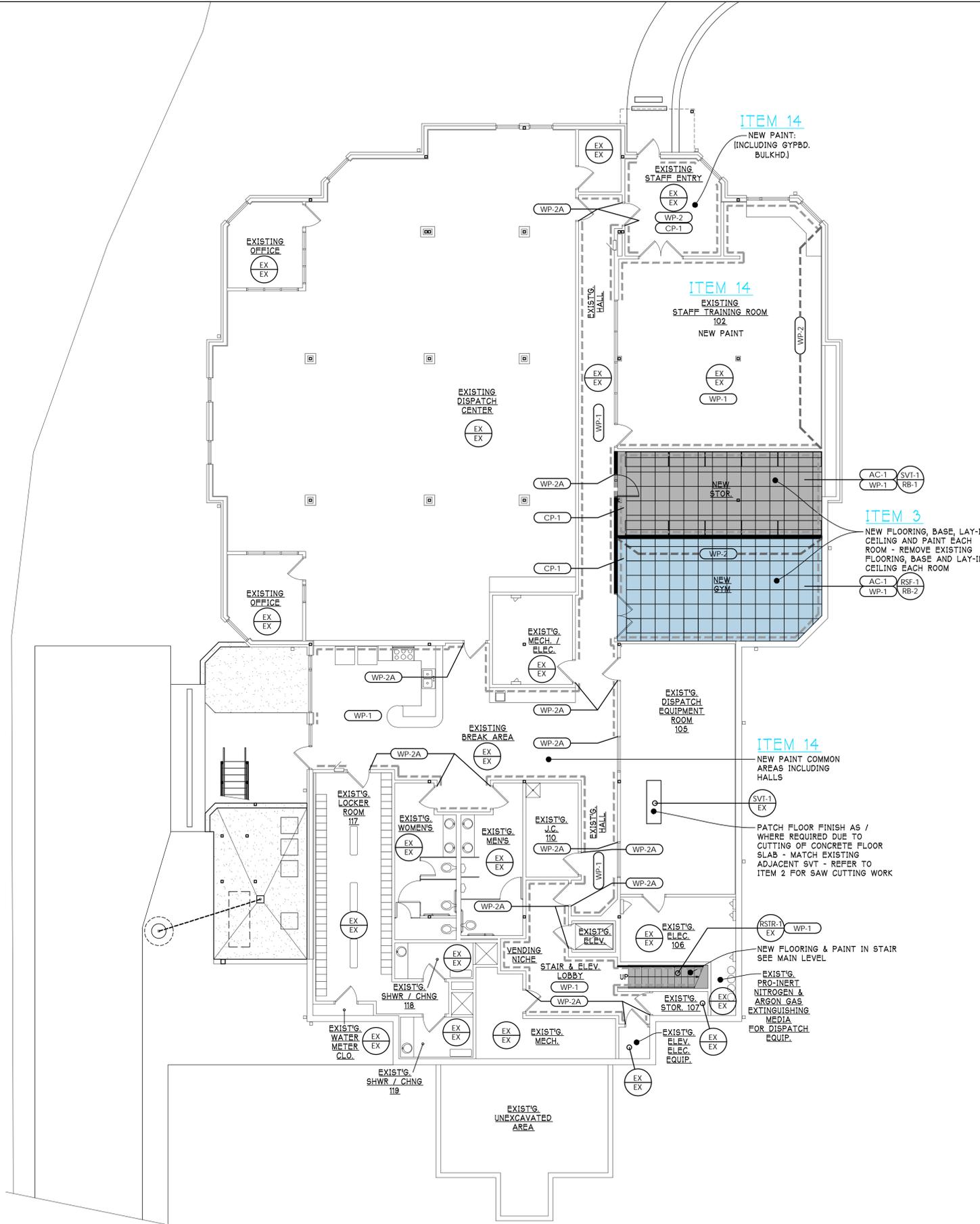
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Project:
Kalamazoo County Dispatch Authority
911
 DISPATCH AUTHORITY

Renovations / Modifications for:
Kalamazoo County Consolidated Dispatch Authority
 7040 Stadium Dr., Kalamazoo, MI 49009

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Issue for Bid:	
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25-156
 Sheet Name:
 DETAILS
 Sheet No.
A302
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FLOOR FINISH LEGEND	
SVT	SOLID VINYL FLOOR TILE
RT	RUBBER FLOOR TILE
RSF	RUBBER SPORTS FLOORING
RSTR	RUBBER STAIR TREAD & RISER
CPT	CARPET (TILE)
RB	RUBBER BASE

- EX EX - EXISTING FLOOR FINISH TO REMAIN
- EX EX - EXISTING BASE MATERIAL TO REMAIN
- XX XX - NEW FLOOR FINISH
- XX XX - NEW BASE MATERIAL
- + - FLOORING TRANSITION STRIP

FLOOR FINISH SCHEDULE				
MARK	FINISH	SIZE	COLOR	MANUFACTURER
SVT-1	SOLID VINYL FLOOR TILE	12"X12"	RAINIER	STATIC SMART JULIE INDUSTRIES, INC. SUMMIT SERIES
RT-1	RUBBER FLOOR TILE	12"X12"	140 FAWN 993 TEXTURED	ROPPE
RSF-1	RUBBER SPORTS FLOORING	24"X24"	COLOR AS SELECTED BY OWNER	JOHNSONITE TRIUMPH MULTI-FUNCTIONAL AND SPORTS RUBBER TILE
RSTR-1	RUBBER STAIR TREAD W/ INTEGRATED RISER	WIDTH OF STAIR	140 FAWN TREAD = 93 TEXTURED	ROPPE
CPT-1	CARPET BROADLOOM	12'	GRANITE	SHAW CONTRACT TURN-KEY COLLECTION
CPT-2	CARPET TILE	24"X24"	GALILEO	STATIC SMART JULIE INDUSTRIES, INC. LEVEL 3 ESD CARPET TILE ECO SERIES

WALL BASE FINISH SCHEDULE				
MARK	FINISH	SIZE	COLOR	MANUFACTURER
RB-1	RUBBER BASE	4" HIGH X 120' COIL	114 LUNAR DUST	ROPPE 700 SERIES WALL BASE
RB-2	RUBBER BASE	4" HIGH X 120' COIL	COLOR AS SELECTED BY OWNER	ROPPE 700 SERIES WALL BASE
RB-3	RUBBER BASE	4" HIGH X 120' COIL	140 FAWN	ROPPE 700 SERIES WALL BASE

WALL & CEILING FINISH LEGEND	
WP	WALL PAINT
CP	CEILING PAINT

- WP-# - WALL FINISH & COLOR
- CP-# - CEILING FINISH & COLOR
- WP-# - EXTENT OF ACCENT WALL FINISH & COLOR

WALL & CEILING FINISH SCHEDULE			
MARK	FINISH	COLOR	MANUFACTURER
WP-1	WALL PAINT EGGSHELL	7532 URBAN PUTTY	SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX
WP-2	WALL PAINT EGGSHELL	7534 OUTERBANKS	SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX
WP-2A	H.M. DR. & WINDOW FR. SEMI-GLOSS	7534 OUTERBANKS	SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX
WP-3	EXTERIOR RAILING GLOSS	7507 STONE LION	SHERWIN WILLIAMS EMERALD EXTERIOR ACRYLIC LATEX
CP-1	CEILING PAINT FLAT	7005 PURE WHITE	SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX
AC-1	FACTORY APPLIED LATEX PAINT	WHITE	ARMSTRONG OPTIMA OPEN PLAN SQUARE REGULAR 3253 24"X24"X1/2" 15/16" GRID - PRELUDE

BID NOTES:

- BASE BID:
- ITEM 1
 - ITEM 2
 - ITEM 4
 - ITEM 5
 - ITEM 6
 - ITEM 7
 - ITEM 8
 - ITEM 9
 - ITEM 10
 - ITEM 11
 - ITEM 12
 - ITEM 22
 - ITEM 23
- ADD ALTERNATE BID ONE:
- ITEM 3
 - ITEM 14
 - ITEM 16
 - ITEM 17
 - ITEM 18
 - ITEM 19
 - ITEM 20
 - ITEM 21
- ADD ALTERNATE BID TWO:
- ITEM 13
 - ITEM 15

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Rev. Date:	
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Schley Nelson Architects Project No.	

25-156
 Sheet Name:
LOWER LEVEL FINISH PLAN
 Sheet No.
A501
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Lower Level Floor Finish Plan
 1/8" = 1'-0"

FLOOR FINISH LEGEND

SVT	SOLID VINYL FLOOR TILE
RT	RUBBER FLOOR TILE
RSF	RUBBER SPORTS FLOORING
RSTR	RUBBER STAIR TREAD & RISER
CPT	CARPET (TILE)
RB	RUBBER BASE

EX - EXISTING FLOOR FINISH TO REMAIN
 EX - EXISTING BASE MATERIAL TO REMAIN
 XX - NEW FLOOR FINISH
 XX - NEW BASE MATERIAL

+ FLOORING TRANSITION STRIP

FLOOR FINISH SCHEDULE

MARK	FINISH	SIZE	COLOR	MANUFACTURER
SVT-1	SOLID VINYL FLOOR TILE	12"X12"	RAINIER	STATIC SMART JULIE INDUSTRIES, INC. SUMMIT SERIES
RT-1	RUBBER FLOOR TILE	12"X12"	140 FAWN 993 TEXTURED	ROPPE
RSF-1	RUBBER SPORTS FLOORING	24"X24"	COLOR AS SELECTED BY OWNER	JOHNSONITE TRIUMPH MULTI-FUNCTIONAL AND SPORTS RUBBER TILE
RSTR-1	RUBBER STAIR TREAD W/ INTEGRATED RISER	WIDTH OF STAIR	140 FAWN TREAD = 93 TEXTURED	ROPPE
CPT-1	CARPET BROADLOOM	12'	GRANITE	SHAW CONTRACT TURN-KEY COLLECTION
CPT-2	CARPET TILE	24"X24"	GALILEO	STATIC SMART JULIE INDUSTRIES, INC. LEVEL 3 ESD CARPET TILE ECO SERIES

WALL BASE FINISH SCHEDULE

MARK	FINISH	SIZE	COLOR	MANUFACTURER
RB-1	RUBBER BASE	4" HIGH X 120' COIL	114 LUNAR DUST	ROPPE 700 SERIES WALL BASE
RB-2	RUBBER BASE	4" HIGH X 120' COIL	COLOR AS SELECTED BY OWNER	ROPPE 700 SERIES WALL BASE
RB-3	RUBBER BASE	4" HIGH X 120' COIL	140 FAWN	ROPPE 700 SERIES WALL BASE

WALL & CEILING FINISH LEGEND

WP	WALL PAINT
CP	CEILING PAINT

WALL FINISHES LEGEND

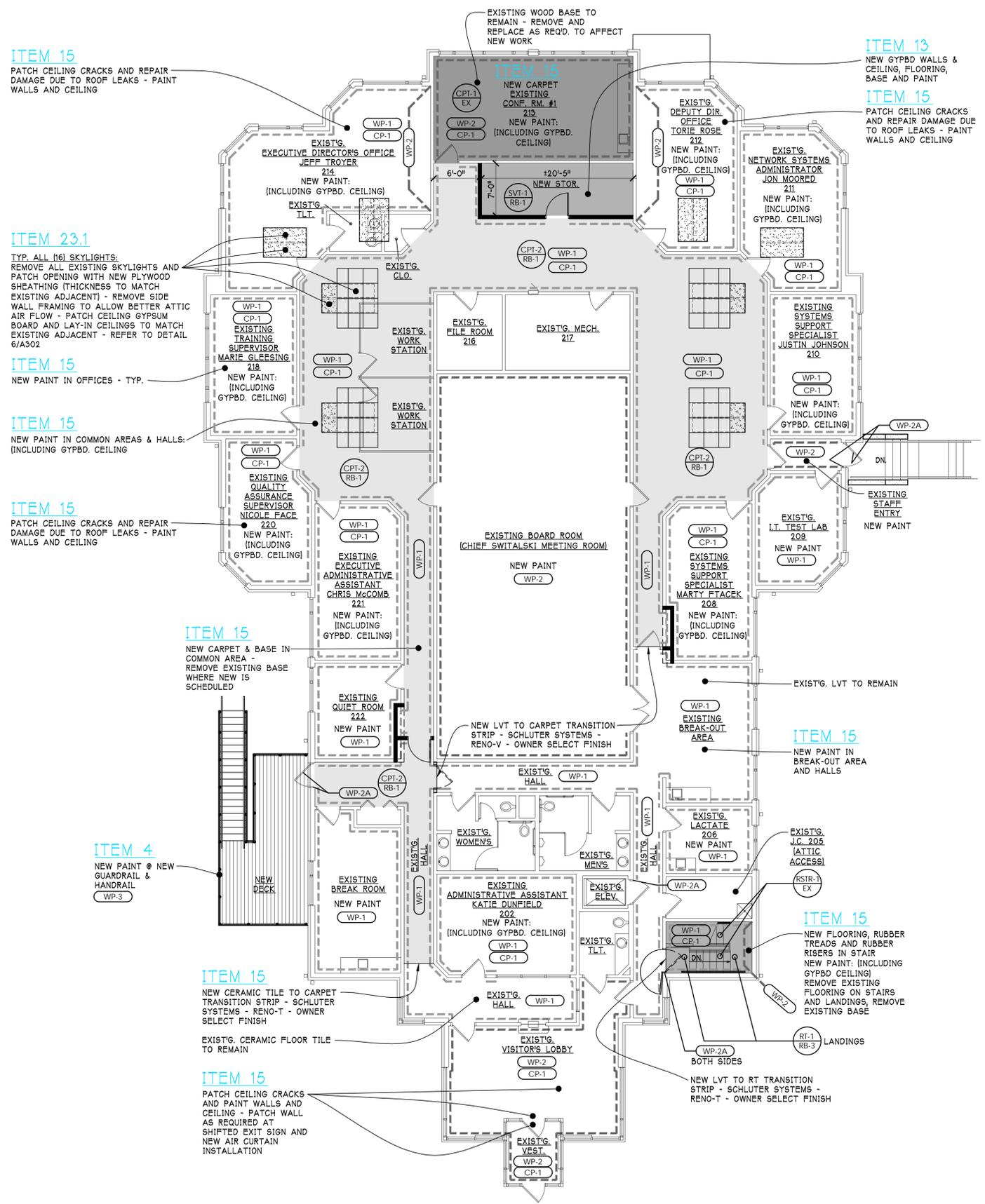
WP-# WALL FINISH & COLOR
 CP-# CEILING FINISH & COLOR
 WP-# EXTENT OF ACCENT WALL FINISH & COLOR

WALL & CEILING FINISH SCHEDULE

MARK	FINISH	COLOR	MANUFACTURER
WP-1	WALL PAINT EGGSHELL	7532 URBAN PUTTY	SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX
WP-2	WALL PAINT EGGSHELL	7534 OUTERBANKS	SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX
WP-2A	H.M. DR. & WINDOW FR. SEMI-GLOSS	7534 OUTERBANKS	SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX
WP-3	EXTERIOR RAILING GLOSS	7507 STONE LION	SHERWIN WILLIAMS EMERALD EXTERIOR ACRYLIC LATEX
CP-1	CEILING PAINT FLAT	7005 PURE WHITE	SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX
AC-1	FACTORY APPLIED LATEX PAINT	WHITE	ARMSTRONG OPTIMA OPEN PLAN SQUARE REGULAR 3255 24"X24"X1/2" 15/16" GRID - PRELUDE

BID NOTES:

- BASE BID:
 ITEM 1
 ITEM 2
 ITEM 4
 ITEM 5
 ITEM 6
 ITEM 7
 ITEM 8
 ITEM 10
 ITEM 11
 ITEM 12
 ITEM 22
 ITEM 23
- ADD ALTERNATE BID ONE:
 ITEM 3
 ITEM 14
 ITEM 16
 ITEM 17
 ITEM 18
 ITEM 19
 ITEM 20
 ITEM 21
- ADD ALTERNATE BID TWO:
 ITEM 13
 ITEM 15



ITEM 15
 PATCH CEILING CRACKS AND REPAIR DAMAGE DUE TO ROOF LEAKS - PAINT WALLS AND CEILING

ITEM 23.1
 TYP. ALL 16" SKYLIGHTS: REMOVE ALL EXISTING SKYLIGHTS AND PATCH OPENING WITH NEW PLYWOOD SHEATHING (THICKNESS TO MATCH EXISTING ADJACENT) - REMOVE SIDE WALL FRAMING TO ALLOW BETTER ATTIC AIR FLOW - PATCH CEILING GYPSUM BOARD AND LAY-IN CEILINGS TO MATCH EXISTING ADJACENT - REFER TO DETAIL 6/A302

ITEM 15
 NEW PAINT IN OFFICES - TYP.

ITEM 15
 NEW PAINT IN COMMON AREAS & HALLS: INCLUDING GYPBD. CEILING

ITEM 15
 PATCH CEILING CRACKS AND REPAIR DAMAGE DUE TO ROOF LEAKS - PAINT WALLS AND CEILING

ITEM 15
 NEW CARPET & BASE IN COMMON AREA - REMOVE EXISTING BASE WHERE NEW IS SCHEDULED

ITEM 4
 NEW PAINT @ NEW GUARDRAIL & HANDRAIL (WP-3)

ITEM 15
 NEW CERAMIC TILE TO CARPET TRANSITION STRIP - SCHLUTER SYSTEMS - RENO-T - OWNER SELECT FINISH

ITEM 15
 PATCH CEILING CRACKS AND PAINT WALLS AND CEILING - PATCH WALL AS REQUIRED AT SHIFTED EXIT SIGN AND NEW AIR CURTAIN INSTALLATION

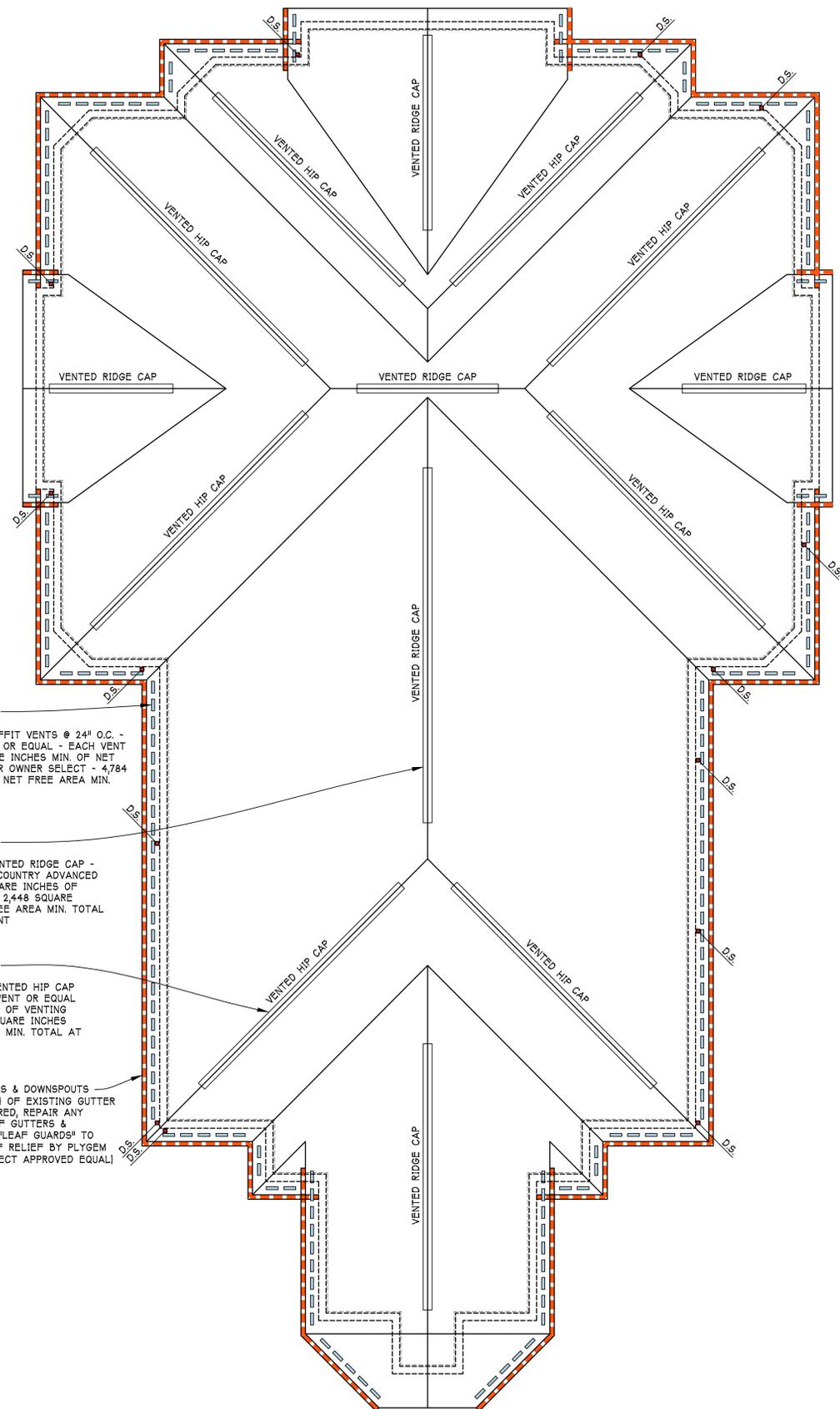
ITEM 13
 NEW GYPBD WALLS & CEILING, FLOORING, BASE AND PAINT

ITEM 15
 PATCH CEILING CRACKS AND REPAIR DAMAGE DUE TO ROOF LEAKS - PAINT WALLS AND CEILING

ITEM 15
 NEW PAINT IN BREAK-OUT AREA AND HALLS

ITEM 15
 NEW FLOORING, RUBBER TREADS AND RUBBER RISERS IN STAIR
 NEW PAINT: (INCLUDING GYPBD CEILING)
 REMOVE EXISTING FLOORING ON STAIRS AND LANDINGS, REMOVE EXISTING BASE

Main Level Floor Finish Plan
 1/8" = 1'-0"



ITEM 23

ROOF VENTILATION:
 ADD (184) 4"x16" SOFFIT VENTS @ 24" O.C. - GAF MASTER FLOW OR EQUAL - EACH VENT TO HAVE 26 SQUARE INCHES MIN. OF NET FREE AREA - COLOR OWNER SELECT - 4,784 SQUARE INCHES OF NET FREE AREA MIN. TOTAL AT SOFFIT

ITEM 23

ROOF VENTILATION:
 ADD 136 L.F. OF VENTED RIDGE CAP - GAF COBRA SNOW COUNTRY ADVANCED OR EQUAL - 18 SQUARE INCHES OF VENTING PER L.F. - 2,448 SQUARE INCHES OF NET FREE AREA MIN. TOTAL AT ROOF RIDGE VENT

ITEM 23

ROOF VENTILATION:
 ADD 260 L.F. OF VENTED HIP CAP - GAF COBRA HIP VENT OR EQUAL - 9 SQUARE INCHES OF VENTING PER L.F. - 2,340 SQUARE INCHES OF NET FREE AREA MIN. TOTAL AT VENTED HIP CAP

ITEM 16

CLEAN ALL GUTTERS & DOWNSPOUTS (D.S.) ADJUST PITCH OF EXISTING GUTTER WHERE / AS REQUIRED, REPAIR ANY DAMAGED AREAS OF GUTTERS & DOWNSPOUTS, ADD "LEAF GUARDS" TO ALL GUTTERS (LEAF RELIEF BY PLYGEM DUOPRO OR ARCHITECT APPROVED EQUAL)

ITEM 23

TYP. ENTIRE ROOF:
 REMOVE THE EXISTING ASPHALT SHINGLES AND ANY UNDERLAYMENT TO EXISTING WOOD ROOF SHEATHING. REMOVE & REPLACE ANY WET / DAMAGED / ROTTED EXISTING ROOF SHEATHING W/ NEW (SIZE AND THICKNESS) TO MATCH EXISTING. ALLOW IN BASE BID REMOVAL AND REPLACEMENT OF (10) 4'X8' +/- 5/8" PLYWOOD OR O.S.B. SHEETS. INFORM OWNER/ARCHITECT OF ACTUAL NUMBER OF SHEETS NEEDING REPLACEMENT PRIOR TO INSTALLING NEW ICE AND WATER SHIELD. INSTALL NEW ICE AND WATER SHIELD ENTIRE ROOF - INSTALL NEW SHINGLES ENTIRE ROOF - GAF TIMBERLINE HOZ OWNER SELECT COLOR FROM MANF. FULL LINE OF HIGH DEFINITION COLORS - LIFETIME LIMITED WARRANTY

ITEM 23

TYP. ENTIRE ATTIC:
 REMOVE & REPLACE ANY WET / DAMAGED EXISTING BLOWN IN OR BATT INSULATION. ALLOW IN BASE BID REMOVAL AND REPLACEMENT OF 2,000 S.F. OF EXISTING 6" THICK WET INSULATION. INFORM OWNER/ARCHITECT OF ACTUAL SQUARE FOOT OF INSULATION NEEDING REPLACEMENT PRIOR TO INSTALLING NEW. PROVIDE AND INSTALL NEW BLOWN-IN CELLULOSE INSULATION (SANCTUARY BY GREENFIBER OR ARCHITECT APPROVED EQUAL) FOR A TOTAL DEPTH OF 13 INCHES MIN. (R-49 MIN) - ASSUME IN BASE BID 6" THICK INSULATION EXISTS THROUGHOUT ATTIC, 7" OF NEW REQUIRED. INFORM OWNER/ARCHITECT OF ACTUAL THICKNESS OF NEW REQUIRED PRIOR TO PROCEEDING WITH WORK.

INSTALL NEW BAFFLES AT EAVES TO MAINTAIN 2" MIN. CLEAR AIR FLOW FROM NEW VENTED SOFFIT TO NEW RIDGE & HIP VENTS

ITEM 23

TYP. ALL (16) SKYLIGHTS:
 REMOVE ALL EXISTING SKYLIGHTS AND PATCH OPENING WITH NEW PLYWOOD SHEATHING (THICKNESS TO MATCH EXISTING ADJACENT) - REMOVE SIDE WALL SKYLIGHT OPENING SHEATHING TO ALLOW BETTER ATTIC AIR FLOW - PATCH CEILING GYPSUM BOARD AND LAY-IN CEILINGS TO MATCH EXISTING - REFER TO DETAIL 6/A302 - ALL EXISTING 24" O.C. ROOF FRAMING TO REMAIN

ITEM 23

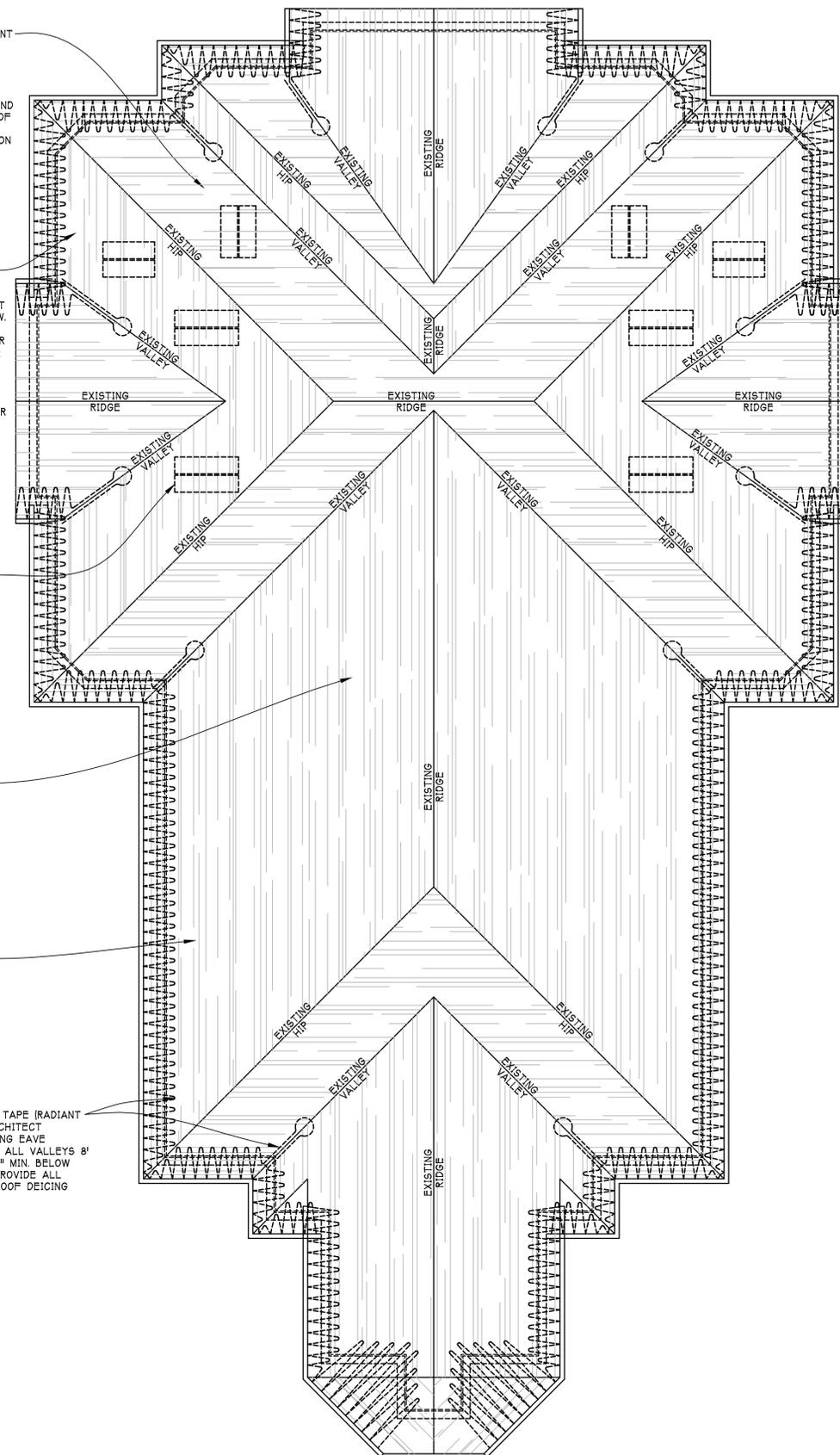
ALL EXISTING ATTIC DRAFT STOPPING TO REMAIN

ITEM 23

EXISTING LIGHTNING PROTECTION TO REMAIN - REMOVE AND REPLACE AS REQUIRED TO AFFECT NEW WORK

ITEM 23

TYP. ENTIRE ROOF -
 ALL EXISTING HEAT TAPE TO BE REMOVED - INSTALL NEW HEAT TAPE (RADIANT SOLUTIONS CO. - HEAT TAPE PRO W/ 10 YEAR WARRANTY OR ARCHITECT APPROVED EQUAL) IN 1 1/2" WIDE TRIANGULAR ZIGZAG PATTERN ALONG EAVE EXTENDED BEYOND INSIDE FACE OF WALL LINE 12" MIN. - RUN UP ALL VALLEYS 8" MIN. - RUN IN ALL GUTTERS - RUN DOWN ALL DOWNSPOUTS TO 42" MIN. BELOW GRADE - VERIFY ELECTRICAL TIE-IN POINTS IN FIELD - G.C. TO PROVIDE ALL ASSOCIATED ACCESSORIES FOR A COMPLETE AND OPERATIONAL ROOF DEICING SYSTEM



Roof Plan
 1/8" = 1'-0"

BID NOTES:

BASE BID:

- ITEM 1
- ITEM 2
- ITEM 4
- ITEM 5
- ITEM 6
- ITEM 7
- ITEM 8
- ITEM 9
- ITEM 10
- ITEM 11
- ITEM 12
- ITEM 22
- ITEM 23

ADD ALTERNATE BID ONE:

- ITEM 3
- ITEM 14
- ITEM 16
- ITEM 17
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- ITEM 20
- ITEM 21

ADD ALTERNATE BID TWO:

- ITEM 13
- ITEM 15

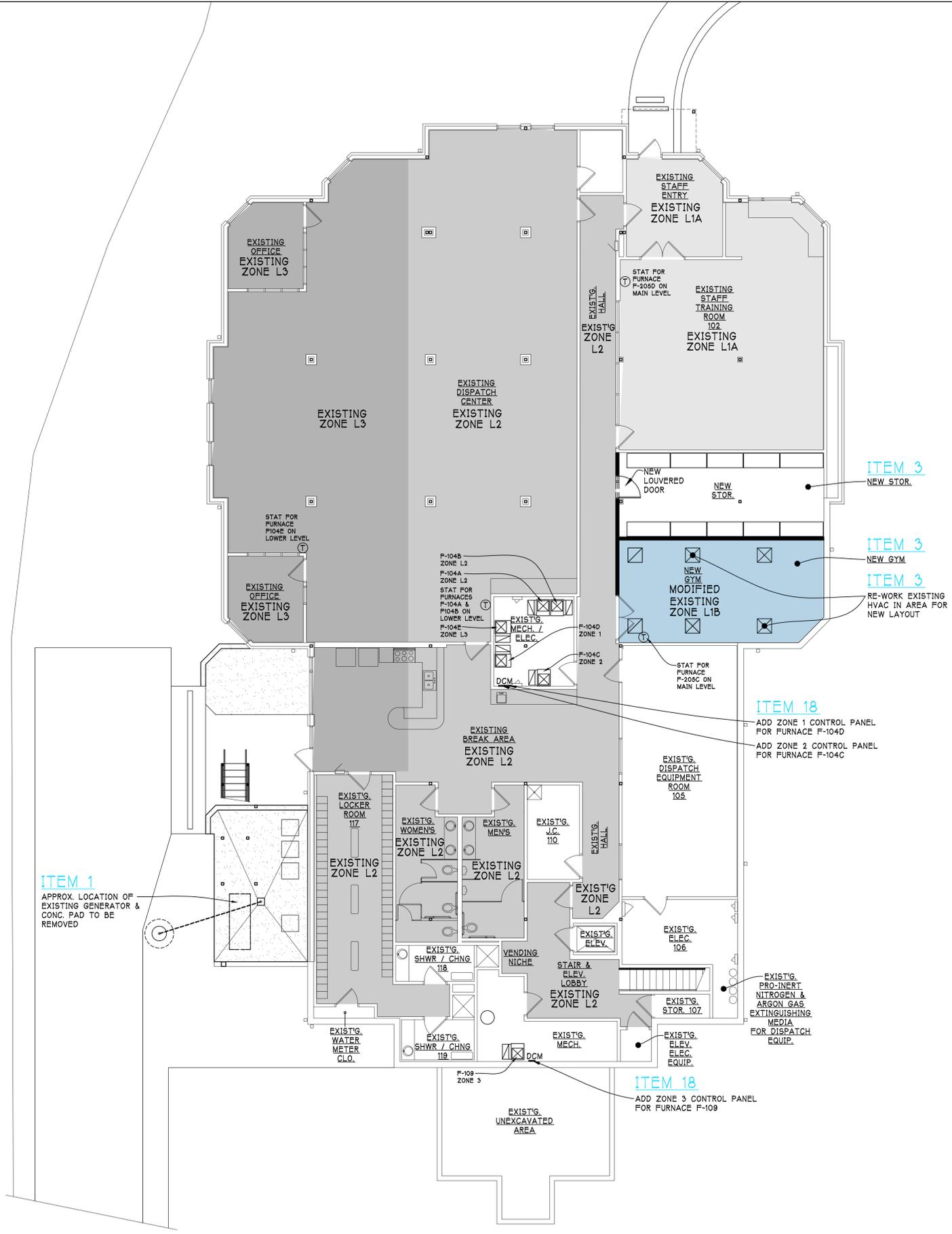
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Schley Nelson Architects Project No.	

25-156
 Sheet Name:
 ROOF PLAN
 Sheet No.
A901
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MECHANICAL NOTES

- GENERAL**
- CONTRACTOR IS RESPONSIBLE TO VISIT THE JOBSITE TO VERIFY EXISTING CONDITIONS THAT MAY AFFECT HIS BID.
 - CONTRACTOR IS RESPONSIBLE TO REVIEW AND CONFIRM EXISTING CONDITIONS AND COORDINATE WITH OTHER TRADES PRIOR TO INSTALLING OR FABRICATING NEW.
 - CONTRACTOR IS REQUIRED TO PROVIDE EQUIPMENT SUBMITTALS AND MATERIAL INFORMATION TO THE ARCHITECT FOR REVIEW.
 - CONTRACTOR SHALL PAY FOR NECESSARY PERMITS, FEES, TAXES, AND APPROVALS FOR CONSTRUCTION.
 - CONTRACTOR SHALL REMOVE SALVAGE MATERIALS AND DEBRIS FROM THE SITE AND REPLACE OR REPAIR AREAS DAMAGED OR DISTURBED BY THE CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE UTILITIES AND SCHEDULE WORK TO AVOID DISRUPTION TO OWNER.
 - INSTALL EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS AND MAINTAIN RECOMMENDED CLEARANCES FOR SERVICE AND PROPER OPERATION OF EQUIPMENT.
 - FOR TIE-INS TO EXISTING SYSTEM, EXISTING MUST BE EQUAL TO OR LARGER THAN NEW.
 - COORDINATE THERMOSTAT AND SENSOR LOCATIONS WITH ELECTRICAL AND TEMPERATURE CONTROL CONTRACTOR. COORDINATE INSTALLATION OF WALL BOXES AND CONDUIT.
 - PATCH WALL, FLOOR AND CEILING PENETRATIONS TO MATCH EXISTING.
 - PROVIDE AND INSTALL HANGERS AND SUPPORTS WHERE REQUIRED.
 - FIRE STOP WALL, FLOOR AND CEILING PENETRATIONS WHERE REQUIRED TO MAINTAIN FIRE SEPARATION INTEGRITY. USE UL LISTED MATERIAL.
 - PROVIDE 10 GAUGE SLEEVES AT MECHANICAL CHASES WHERE REQUIRED. INSTALL PER SMACNA STANDARDS.
 - M.C. IS RESPONSIBLE TO PROVIDE OWNER WITH COMPLETE SET OF INSTALLATION, OPERATION, AND MAINTENANCE MANUALS FOR MECHANICAL EQUIPMENT.
 - M.C. IS RESPONSIBLE TO ENSURE THAT THE HVAC SYSTEMS ARE FULLY OPERATIONAL AND THAT THE OWNER RECEIVES ADEQUATE TRAINING AND INSTRUCTION IN THE OPERATION AND MAINTENANCE OF THE SYSTEMS AND EQUIPMENT.
 - COORDINATE LOCATION OF DUCTWORK, PIPING, AND EQUIPMENT WITH ELECTRICAL SO THAT VERTICAL AND HORIZONTAL CLEARANCES FOR ELECTRICAL EQUIPMENT ARE MAINTAINED. PIPING, DUCTWORK AND MECHANICAL EQUIPMENT MAY NOT PASS OVER TOP OF ELECTRICAL PANELS AND EQUIPMENT.

- DUCTWORK AND AIR DISTRIBUTION**
- DUCTWORK SHALL BE FABRICATED AND INSTALLED PER SMACNA STANDARDS AND THE MICHIGAN MECHANICAL CODE.
 - PROVIDE DUCT TRANSITIONS AND FITTINGS AS REQUIRED.
 - SEAL JOINTS, LONGITUDINAL, AND TRANSVERSE SEAMS WITH HARDCAST IRON GRIP 601 SURE GRIP 404, OR OTHER APPROVED SEALANT. SUPPLY, RETURN, AND EXHAUST AIR DUCTWORK SHALL BE SEALED TO SEAL CLASS A.
 - PROVIDE VOLUME CONTROL DAMPERS IN SUPPLY, RETURN, AND EXHAUST BRANCH DUCTS. DO NOT INSTALL BALANCING DAMPERS TO VAV TERMINAL UNIT INLET.
 - ROUND DUCTWORK ELBOWS AND RADIUS RECTANGULAR ELBOWS MUST HAVE MINIMUM CENTERLINE RADIUS OF 1.5 TIMES THE DUCT DIAMETER.
 - PROVIDE TURNING VANES IN ALL RECTANGULAR 90 DEGREE ELBOWS. MAX LENGTH FOR A SINGLE SECTION OF VANES IS 24" LONG.
 - COORDINATE DUCTWORK LOCATIONS WITH EXISTING STRUCTURE, OTHER DUCTWORK, PLUMBING, LIGHT FIXTURES, CONDUIT, SPRINKLERS, EQUIPMENT, ETC.
 - WHERE INDICATED, SUPPLY AIR DUCTWORK SHALL BE DOUBLE-WALLED WITH 2" THICK FIBERGLASS LINER, PERFORATED GALVANIZED STEEL INNER WALL, AND SOLID GALVANIZED STEEL EXTERIOR WALL.
 - COORDINATE COLOR OF GRILLES, REGISTERS, DIFFUSERS, LOUVERS, AND EXPOSED EQUIPMENT WITH ARCHITECT PRIOR TO ORDERING EQUIPMENT.
 - MAXIMUM 5'-0" FLEX DUCT TO DIFFUSERS.
 - DIFFUSERS AND GRILLES THAT ARE NOT LAY-IN STYLE BUT INSTALLED IN A LAY-IN CEILING GRID SHALL BE MOUNTED TO RIGID SHEET METAL DUCTWORK NOT TO LAY-IN CEILING TILES.
 - BRANCH DUCTS TO DIFFUSERS AND GRILLES ARE SAME SIZE AS DIFFUSER OR GRILLE NECK SIZE UNLESS OTHERWISE INDICATED. PROVIDE TRANSITIONS AS REQUIRED.
 - PAINT INSIDE OF DUCT PLENUM BEHIND GRILLES AND REGISTERS MATTE BLACK.

- TESTING, ADJUSTING, AND BALANCING**
- PROVIDE CERTIFIED REPORTS BY AABC OR NEBB CERTIFIED INDEPENDENT TEST AND BALANCE CONTRACTOR.
 - PERFORM TESTING AND BALANCING PROCEDURES ON EACH SYSTEM ACCORDING TO THE PROCEDURES CONTAINED IN AABC'S "NATIONAL STANDARDS FOR TESTING AND BALANCING HEATING, VENTILATING, AND AIR CONDITIONING SYSTEMS", NEBB'S "PROCEDURAL STANDARDS FOR TESTING, ADJUSTING, AND BALANCING OF ENVIRONMENTAL SYSTEMS", OR SMACNA'S "HVAC SYSTEMS - TESTING, ADJUSTING, AND BALANCING".

CONTRACTOR TO LABEL EACH EXISTING FURNACE WITH ROOM LOCATIONS OF ASSOCIATED NEW THERMOSTATS AND NEW ZONE SENSORS

CONTRACTOR TO LABEL EACH NEW THERMOSTAT AND NEW ZONE SENSOR WITH ASSOCIATED FURNACE DESIGNATION

CONTRACTOR TO LABEL EACH NEW DAMPER CONTROL MODULE WITH ASSOCIATED FURNACE DESIGNATION

CONTRACTOR TO LABEL EACH NEW RECEPTACLE WITH EXISTING PANEL NO. AND EXISTING OR NEW CIRCUIT NO.

MECHANICAL ZONE CONTROL SCHEDULE:	
①	LENNOX S30 TOUCHSCREEN COMMUNICATION PROGRAMMABLE THERMOSTAT W/ OPTIONAL LENNOX SMART ZONING SYSTEM - STANDARD 4-WIRE THERMOSTAT WIRING - ZONE #1 THERMOSTAT
②S	LENNOX 17A30 ZONE SENSOR - ZONES #2 THROUGH #4
DCM	LENNOX DCM SMART ZONING SYSTEM DAMPER CONTROL MODULE - UP TO 4 ZONES, 24 VAC - 10C16
INSTALL ZONE DAMPERS - MOTORIZED DAMPERS ARE TO BE INSTALLED IN THE EXISTING MAIN SUPPLY DUCTS FOR EACH NEW ZONE. G.C. TO FIELD VERIFY DUCT LAYOUT AND PLACEMENT OF EACH NEW DAMPER.	

BID NOTES:

- BASE BID:
- ITEM 1
 - ITEM 2
 - ITEM 4
 - ITEM 5
 - ITEM 6
 - ITEM 7
 - ITEM 8
 - ITEM 9
 - ITEM 10
 - ITEM 11
 - ITEM 12
 - ITEM 22
 - ITEM 23
- ADD ALTERNATE BID ONE:
- ITEM 3
 - ITEM 14
 - ITEM 16
 - ITEM 17
 - ITEM 18
 - ITEM 19
 - ITEM 20
 - ITEM 21
- ADD ALTERNATE BID TWO:
- ITEM 13
 - ITEM 15

Schley Nelson Architects
 4200 S. 9th Street,
 PO Box 239
 Oshtemo, MI 49077
 (269) 375-8360



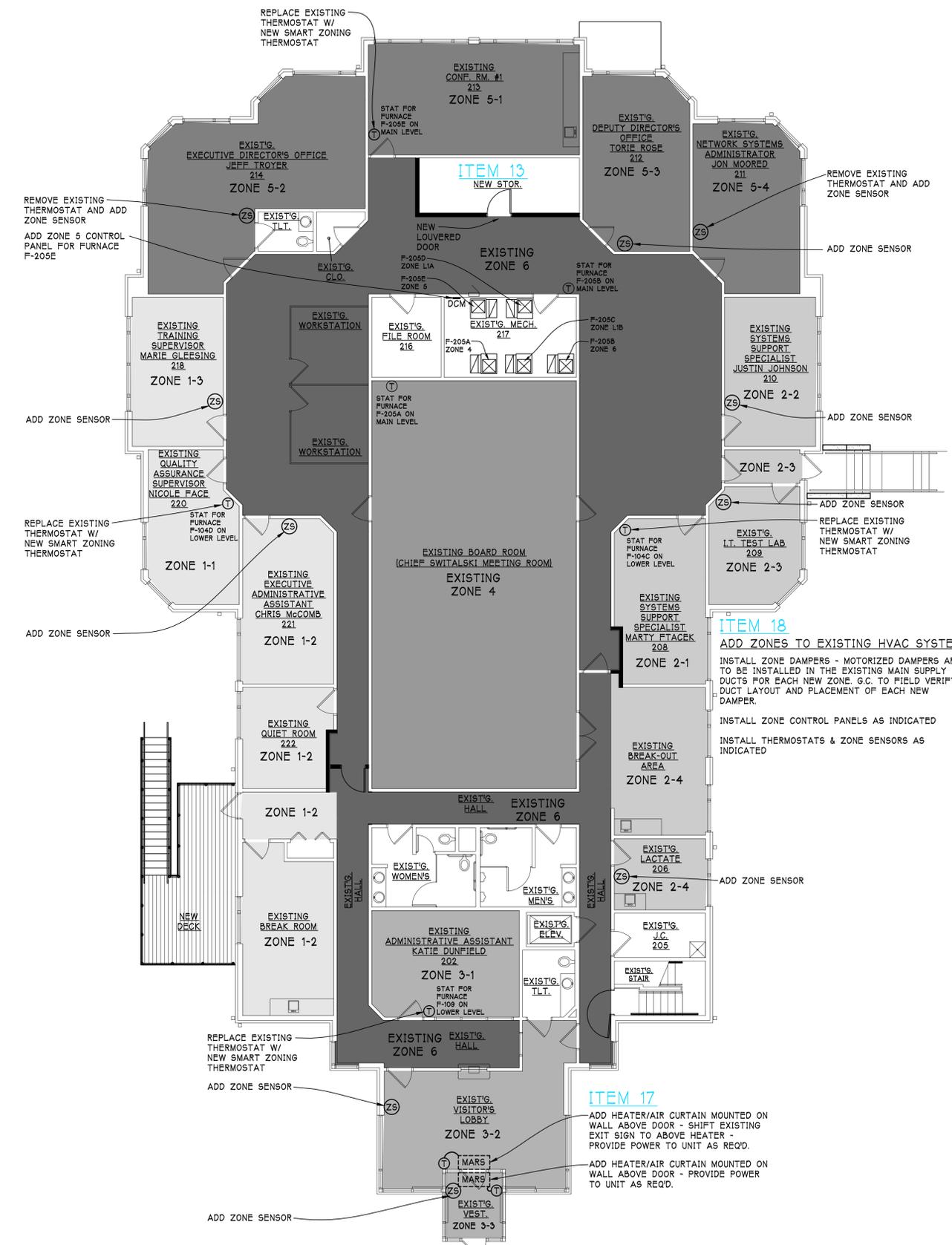
Project:
Kalamazoo County Consolidated Dispatch Authority
 7040 Stadium Dr., Kalamazoo, MI 49009

Rev. Date:	
Issue for Bid:	Date: 03/10/2026
Schley Nelson Architects Project No.	
25-156	
Sheet Name:	
LOWER LEVEL MECHANICAL PLAN	
Sheet No.	
M101	
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Lower Level Floor Mechanical Plan
 1/8" = 1'-0"

BID NOTES:

- BASE BID:
 ITEM 1
 ITEM 2
 ITEM 4
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 ITEM 11
 ITEM 12
 ITEM 22
 ITEM 23
- ADD ALTERNATE BID ONE:
 ITEM 3
 ITEM 14
 ITEM 16
 ITEM 17
 ITEM 18
 ITEM 19
 ITEM 20
 ITEM 21
- ADD ALTERNATE BID TWO:
 ITEM 13
 ITEM 15



ITEM 18
 ADD ZONES TO EXISTING HVAC SYSTEM:
 INSTALL ZONE DAMPERS - MOTORIZED DAMPERS ARE TO BE INSTALLED IN THE EXISTING MAIN SUPPLY DUCTS FOR EACH NEW ZONE. G.C. TO FIELD VERIFY DUCT LAYOUT AND PLACEMENT OF EACH NEW DAMPER.
 INSTALL ZONE CONTROL PANELS AS INDICATED
 INSTALL THERMOSTATS & ZONE SENSORS AS INDICATED

ITEM 17
 ADD HEATER/AIR CURTAIN MOUNTED ON WALL ABOVE DOOR - SHIFT EXISTING EXIT SIGN TO ABOVE HEATER - PROVIDE POWER TO UNIT AS REQ'D.
 ADD HEATER/AIR CURTAIN MOUNTED ON WALL ABOVE DOOR - PROVIDE POWER TO UNIT AS REQ'D.

CONTRACTOR TO LABEL EACH EXISTING FURNACE WITH ROOM LOCATIONS OF ASSOCIATED NEW THERMOSTATS AND NEW ZONE SENSORS
 CONTRACTOR TO LABEL EACH NEW THERMOSTAT AND NEW ZONE SENSOR WITH ASSOCIATED FURNACE DESIGNATION
 CONTRACTOR TO LABEL EACH NEW DAMPER CONTROL MODULE WITH ASSOCIATED FURNACE DESIGNATION
 CONTRACTOR TO LABEL EACH NEW RECEPTACLE WITH EXISTING PANEL NO. AND EXISTING OR NEW CIRCUIT NO.

HEATER / AIR CURTAIN:
 MARS ELEC. HEAT AIR CURTAIN W/ 24-VOLT THERMOSTAT - MODEL QP10 OR APPROVED EQUAL - 48" WIDTH ANODIZED ALUMINUM - 208 / 120 VOLT / 3 PHASE / 4 WIRE

MECHANICAL ZONE CONTROL SCHEDULE:
 LENNIX S30 TOUCHSCREEN COMMUNICATION PROGRAMMABLE THERMOSTAT W/ OPTIONAL LENNIX SMART ZONING SYSTEM - STANDARD 4-WIRE THERMOSTAT WIRING - ZONE #1 THERMOSTAT
 LENNIX 17A30 ZONE SENSOR - ZONES #2 THROUGH #4
 LENNIX DCM SMART ZONING SYSTEM DAMPER CONTROL MODULE - UP TO 4 ZONES, 24 VAC - 10C16
 INSTALL ZONE DAMPERS - MOTORIZED DAMPERS ARE TO BE INSTALLED IN THE EXISTING MAIN SUPPLY DUCTS FOR EACH NEW ZONE. G.C. TO FIELD VERIFY DUCT LAYOUT AND PLACEMENT OF EACH NEW DAMPER.

Main Level Floor Mechanical Plan
 1/8" = 1'-0"

BID NOTES:

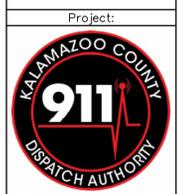
- BASE BID:
 ITEM 1
 ITEM 2
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 ITEM 11
 ITEM 12
 ITEM 22
 ITEM 23

ADD ALTERNATE BID ONE:

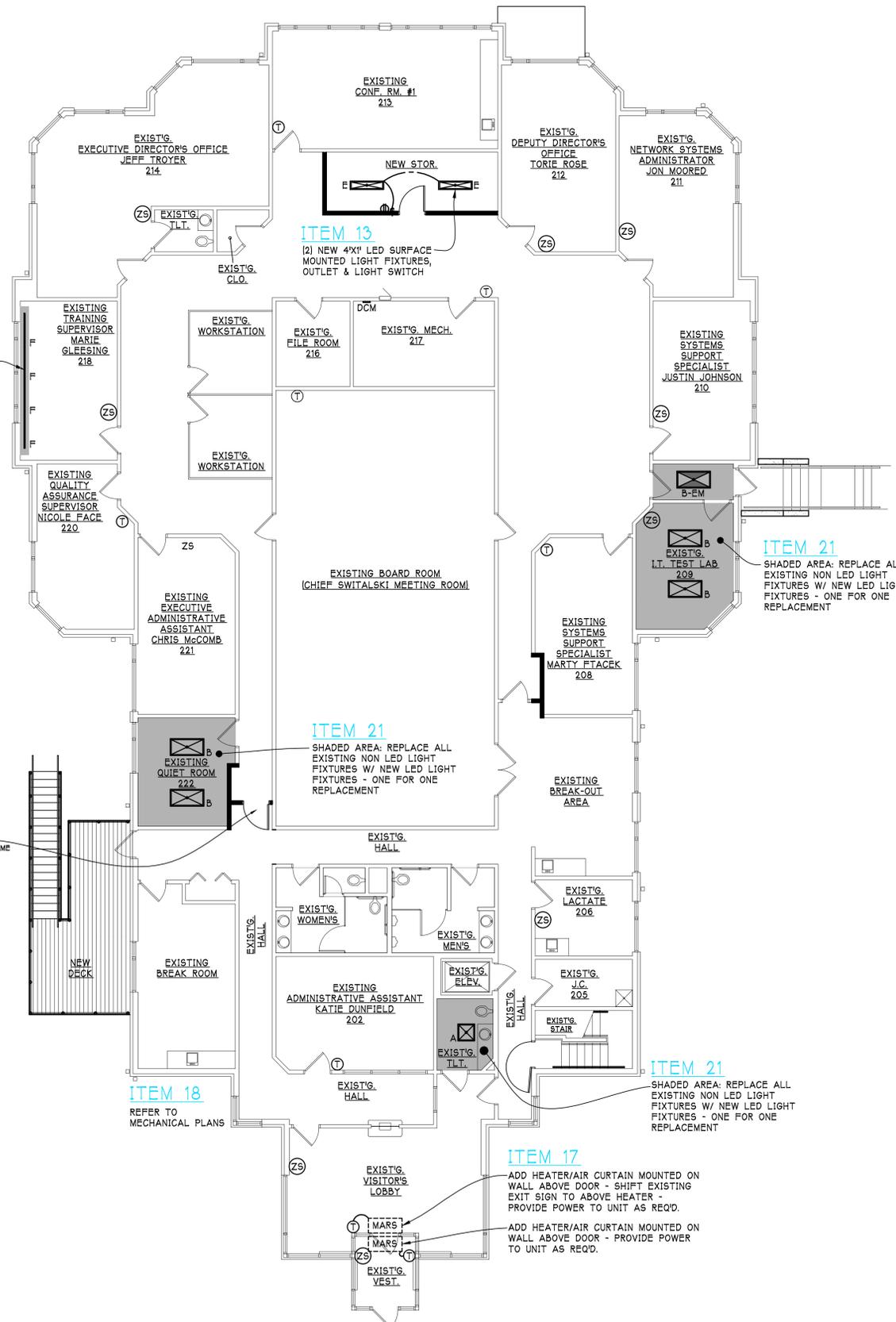
- ITEM 3
 ITEM 14
 ITEM 16
 ITEM 17
 ITEM 18
 ITEM 19
 ITEM 20
 ITEM 21

ADD ALTERNATE BID TWO:

- ITEM 13
 ITEM 15



Project:
Kalamazoo County Consolidated Dispatch Authority
 7040 Stadium Dr., Kalamazoo, MI 49009



ITEM 21
 REPLACE EXISTING LIGHTS W/ NEW LITHONIA LED LIGHTS

ITEM 22
 RELOCATED EXISTING DOOR 203, DOOR HARDWARE, DOOR STOP, FRAME AND CARD ACCESS READER & ALL ASSOCIATED WIRING

ITEM 13
 (2) NEW 4'X4' LED SURFACE MOUNTED LIGHT FIXTURES, OUTLET & LIGHT SWITCH

ITEM 21
 SHADED AREA: REPLACE ALL EXISTING NON LED LIGHT FIXTURES W/ NEW LED LIGHT FIXTURES - ONE FOR ONE REPLACEMENT

ITEM 21
 SHADED AREA: REPLACE ALL EXISTING NON LED LIGHT FIXTURES W/ NEW LED LIGHT FIXTURES - ONE FOR ONE REPLACEMENT

ITEM 21
 SHADED AREA: REPLACE ALL EXISTING NON LED LIGHT FIXTURES W/ NEW LED LIGHT FIXTURES - ONE FOR ONE REPLACEMENT

ITEM 18
 REFER TO MECHANICAL PLANS

ITEM 17
 ADD HEATER/AIR CURTAIN MOUNTED ON WALL ABOVE DOOR - SHIFT EXISTING EXIT SIGN TO ABOVE HEATER - PROVIDE POWER TO UNIT AS REQ'D.

ADD HEATER/AIR CURTAIN MOUNTED ON WALL ABOVE DOOR - PROVIDE POWER TO UNIT AS REQ'D.

HEATER / AIR CURTAIN:
 MARS ELEC. HEAT AIR CURTAIN W/ 24-VOLT THERMOSTAT - MODEL QP10 OR APPROVED EQUAL - 48" WIDTH ANODIZED ALUMINUM - 208 / 120 VOLT / 3 PHASE / 4 WIRE

MECHANICAL ZONE CONTROL SCHEDULE:
 (T) LENNIX 530 TOUCHSCREEN COMMUNICATION PROGRAMMABLE THERMOSTAT W/ OPTIONAL LENNIX SMART ZONING SYSTEM - STANDARD 4-WIRE THERMOSTAT WIRING - ZONE #1 THERMOSTAT
 (ZS) LENNIX 17A30 ZONE SENSOR - ZONES #2 THROUGH #4
 (DCM) LENNIX DCM SMART ZONING SYSTEM DAMPER CONTROL MODULE - UP TO 4 ZONES, 24 VAC - 10C16
 INSTALL ZONE DAMPERS - MOTORIZED DAMPERS ARE TO BE INSTALLED IN THE EXISTING MAIN SUPPLY DUCTS FOR EACH NEW ZONE GC TO FIELD VERIFY DUCT LAYOUT AND PLACEMENT OF EACH NEW DAMPER.

CONTRACTOR TO LABEL EACH EXISTING FURNACE WITH ROOM LOCATIONS OF ASSOCIATED NEW THERMOSTATS AND NEW ZONE SENSORS
 CONTRACTOR TO LABEL EACH NEW THERMOSTAT AND NEW ZONE SENSOR WITH ASSOCIATED FURNACE DESIGNATION
 CONTRACTOR TO LABEL EACH NEW DAMPER CONTROL MODULE WITH ASSOCIATED FURNACE DESIGNATION
 CONTRACTOR TO LABEL EACH NEW RECEPTACLE WITH EXISTING PANEL NO. AND EXISTING OR NEW CIRCUIT NO.

LIGHT FIXTURE SCHEDULE:

MARK	DESCRIPTION	MANF	MODEL NO.	COMMENTS
⊗A	2' X 2' LAY-IN LED	*	2BLT2 SMOOTH REFLECTOR 40LHE ADSM LP840 WHITE	VOLTAGE & DRIVER TO MATCH EXISTING BEING REPLACED
⊗A-EM	2' X 2' LAY-IN LED	*	2BLT2 SMOOTH REFLECTOR 40LHE ADSM LP840 WHITE E10WLCP	VOLTAGE & DRIVER TO MATCH EXISTING BEING REPLACED EM SELF-DIAGNOSTIC BATTERY PACK 10W CONSTANT POWER
⊗B	2' X 4' LAY-IN LED	*	2BLT4 SMOOTH REFLECTOR 40LHE ADSM LP840 WHITE	VOLTAGE & DRIVER TO MATCH EXISTING BEING REPLACED
⊗B-EM	2' X 4' LAY-IN LED	*	2BLT4 SMOOTH REFLECTOR 40LHE ADSM LP840 WHITE E10WLCP	VOLTAGE & DRIVER TO MATCH EXISTING BEING REPLACED EM SELF-DIAGNOSTIC BATTERY PACK 10W CONSTANT POWER
○C	6" ROUND LED OPEN TRIM RECESSED DOWNLIGHT	*	LDN6 SWITCHABLE CCT SWW1 WHITE	
○C-EM	6" ROUND LED OPEN TRIM RECESSED DOWNLIGHT	*	LDN6 SWITCHABLE CCT SWW1 WHITE E10WLCP	BATTERY PACK 10W CONSTANT POWER
D	VANITY LED - WALL MOUNTED	*	FMVCSLS 48IN MVOLT 40K 90CRI BN M4	
E	1' X 4' SURFACE MOUNT LED	*	BLTX4 40LHE ADSM 120V LP840 WHITE	
F	150" X 4' LED LINKABLE STRIP LIGHT	*	RLNK L48 120 35K 80CRI M4	

*LITHONIA LIGHTING

ELECTRICAL SYMBOL LEGEND
 ⊕ DUPLEX RECEPTACLE - 20 AMP, 120V, SPEC. GRADE, GROUNDING TYPE, WHITE W/ WHITE COVER PLATE
 ▲ COMBINATION COMMUNICATION/DATA OUTLET
 S WALL SWITCH - SILENT TYPE, SPEC. GRADE, WHITE W/ WHITE COVER PLATE
 NOTE: ONLY NEW DEVICES INDICATED ON NEW WALLS OR IN NEW ROOMS - ALL EXISTING DEVICES TO REMAIN WHERE POSSIBLE

ELECTRICAL NOTE REGARDING EXISTING PANEL LOADS:
 THIS IS AN EXISTING RENOVATED SPACE. ALL POWER PANELS FOR THE AREAS ARE EXISTING.
 CONTRACTOR SHALL RECONFIGURE EXISTING PANEL CIRCUITS AS REQUIRED TO ACCOMMODATE THE RENOVATED SPACE ELECTRICAL DESIGN LOADS. CONTRACTOR SHALL FIELD VERIFY THAT THE MAXIMUM ALLOWED LOAD CAPACITY IS NOT EXCEEDED FOR ALL BRANCH CIRCUITS AND POWER PANELS. CONTRACTOR SHALL COORDINATE WITH OWNER REGARDING ALL ELECTRICAL ISSUES PERTAINING TO ELECTRICAL PANEL LOADS. IF ANY POWER PANEL REFERRED TO IN THE ELECTRICAL DESIGN IS NEAR OR WILL EXCEED ITS CAPACITY, NOTIFY THE OWNER / ARCHITECT. CONTRACTOR SHALL PROVIDE NEW "AS BUILT" POWER PANEL SCHEDULES FOR ALL PANELS MODIFIED OR ADDED TO FOR THIS RENOVATION. POWER PANEL SCHEDULES SHALL INCLUDE PANEL RATINGS, BRANCH CIRCUITS WITH CIRCUIT NUMBERS, CIRCUIT IDENTIFICATION, CIRCUIT LOADS, TOTAL PANEL LOAD & BREAKER SIZES ETC.
 WIRING METHODS TO INCLUDE REDUNDANT GROUNDING PER NEC 2023
 ALL WIRING SHALL BE INSTALLED IN A METALLIC CONDUIT SYSTEM